

DOWNTOWN MIXED-USE BUILDING

Downtown's earliest commercial buildings were often built with retail on the ground floor and residential uses, such as lodging or housing, above. The illustration shown below is based on Downtown's traditional commercial styles. Multi-story buildings are recommended to have a three-part composition where the first floor forms the base of the building, the floors above this base form the main body of the building, and a projecting cornice or parapet caps the facade composition.

The ground-level of the building plays an important role in Downtown's streetscape - especially the storefront. A typical storefront should include a main entrance flanked by display windows. Large display windows, awnings or a sign board, and clerestory or transom windows are recommended.

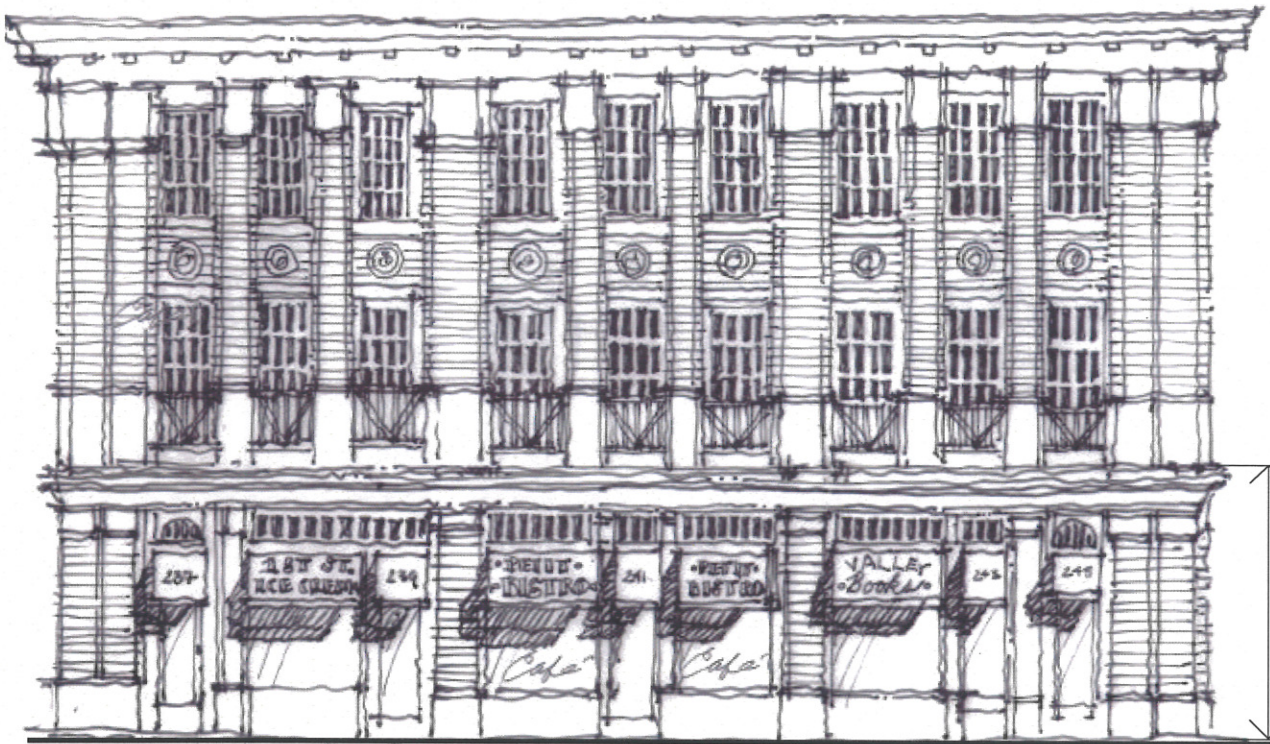
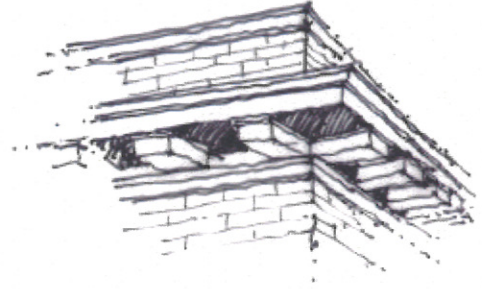


FIGURE 6-2:
DESIGN PROTOTYPE: MIXED-USE BUILDING

Recommended Characteristics:

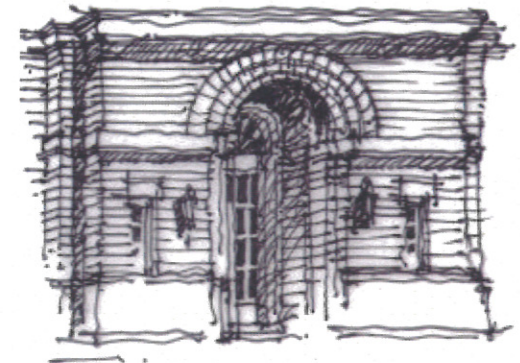
1. Well articulated roof forms, incorporating shaped parapets or cornice treatments to "cap" the building.



2. Classical detailing and ornament, such as decorative elements repeated across the facade.



3. Identifiable entrance for residential units.






4. Clearly defined building base at the first floor.




Livermore Downtown Specific Plan




DESIGN STANDARDS AND GUIDELINES - COMMERCIAL AND MIXED USE BUILDINGS

Livermore's Downtown has historically been the center of the community, its most public and active place. New commercial and mixed-use buildings should contribute to this existing "Main Street" character of the Downtown. They should enhance the pedestrian oriented nature of Downtown, defining the street as a public place, with active storefronts, windows and doors at the ground level. Architecture should include the kind of well-crafted architectural details that are common in Livermore, and convey that architectural heritage in terms of material, color, proportion, window type and overall composition.

All new commercial buildings and building additions should follow the guidelines below to ensure their design fits into the commercial context of Downtown, and adds interest and variety to its mix. The Design Standards and Guidelines for commercial buildings are divided into multiple components related to building design, with objectives identified in the left hand column and standards and guidelines identified in the central column. The pictures at right are provided to illustrate the concepts being presented. All projects are required to comply with identified objectives and standards and are strongly encouraged to follow the established guidelines. Public buildings, cultural arts and entertainment uses may deviate from the following objectives, standards and guidelines, with City approval, in specialized cases to create a dramatic architectural statement that contributes to the overall character of the Downtown Core.

BUILDING MASS AND INCREMENT		
<p>SITING AND ORIENTATION</p> <p>Buildings shall be sited to reinforce the public street network of Downtown, aligning with primary street frontages and public pathway spaces.</p>	<p>Standards:</p> <ul style="list-style-type: none"> Main facades with entrance doors and windows shall front upon the primary street. Buildings shall not orient to parking lots at the expense of street and pathway frontages. Downtown buildings shall be “four-sided” buildings, and maintain quality architectural articulation and finishes around all visible sides of the buildings, not just the front. All building walls that face streets shall incorporate active facades, with windows, doors and other architectural elements giving interest to the building. <p>Guidelines:</p> <ul style="list-style-type: none"> All building walls that face sidewalks or pathways should incorporate active facades, with windows, doors and other architectural elements giving interest to the building wall along the sidewalk. 	 <p>Primary facades facing the street and enlivening the sidewalk.</p>  <p>All building facades should create interest along streets or pathways.</p>
<p>OVERALL BUILDING MASSING</p> <p>Building scale shall be compatible with the existing fine-grained, pedestrian friendly, small-storefront fabric of the Downtown Core.</p>	<p>Standards:</p> <ul style="list-style-type: none"> Commercial buildings shall be simple in form and massing, with a primary building mass accentuated by a few important features, such as a major entrance and a top treatment (i.e. a roof, cornice or parapet). <p>Guidelines:</p> <ul style="list-style-type: none"> Ancillary elements shall be used to add interest to simple facades (such as building volumes, cantilevered balconies, window bays and decorative detailing). 	 <p>Simple massing, with a major entrance and roof/cornice.</p>

<p>HORIZONTAL MASS</p> <p>The building mass and/or façade composition shall vary in modules that reinforce the traditional storefront character of Downtown.</p>	<p>Standards:</p> <ul style="list-style-type: none"> ▪ Facades shall be architecturally subdivided into increments of thirty to forty feet maximum, at both the ground floor and at upper stories. Methods of subdivision are listed in <u>Guidelines</u>, below. ▪ Individual storefronts shall be located within building subdivisions, at the above increments. Where an individual storefront extends longer than thirty to forty feet, it shall be subdivided using the methods described in <u>Guidelines</u>, below. 	 <p>Buildings should have clearly defined bays of 30-40 feet.</p>
	<p>Guidelines:</p> <p>Methods to accomplish horizontal subdivision include the following:</p> <ol style="list-style-type: none"> 1. Vertical Architectural Feature: <ul style="list-style-type: none"> ▪ Apply a column, pier, or pilaster between facades with a three (3) inch minimum protrusion and a fifteen (15) inch minimum width. The maximum horizontal protrusion of pilasters into the public right-of-way should be six (6) inches. ▪ Apply a vertical slot or recess between facades with a six (6) inch minimum recess depth and a fifteen (15) inch minimum width. 	 <p>Vertical pilasters may be used to subdivide façade.</p>
	<ol style="list-style-type: none"> 2. Building Wall: <ul style="list-style-type: none"> ▪ While the majority of the building is required to be built to the property line, portions of the building may recede from the public right-of-way. The building wall may be varied along the front setback line at key locations, i.e. recessing the storefront entrance, or creating a niche for a residential entrance. ▪ From one façade to the next, combine a change in depth or horizontal plane with a change in material and character. Changes in façade material or color should be associated with a change in plane or separated by a pilaster. 	 <p>Set back a portion of the building wall, here at major building entrance.</p>

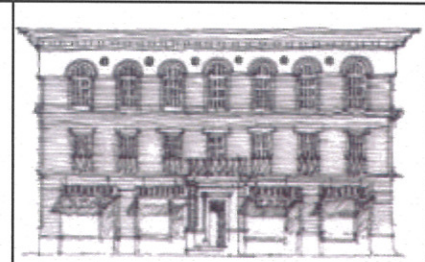
<p>HORIZONTAL MASS (CONTINUED)</p>	<p>3. Towers or Building Volumes:</p> <ul style="list-style-type: none"> Vertical volumes and changes in height are encouraged to break up long facades, and add interest to low building volumes. Good sense should be exhibited in the design and placement of special architectural features. Larger towers, gables, and turrets should be reserved for use at significant locations, such as major street corners, at a terminus of a pedestrian way, and at major entrances. Smaller elements should be used to denote regular entrances or room volumes. 	 <p><i>Change in building height at corner.</i></p>
	<p>4. Change in Storefront Facade:</p> <ul style="list-style-type: none"> Ground-floor facades should be designed to give individual identity to each retail establishment. Each shop should have a distinct façade with a unique character. At adjacent storefronts, the change in establishments should be clearly evident through a change in storefront façade, i.e. different base material, window type, and/or door type. This is particularly important for storefronts located in the same building. 	 <p><i>Storefronts should have individual facades.</i></p>
<p>VERTICAL MASS</p> <p>In order to continue the varied street wall of the Downtown Core, new buildings shall change in height between buildings along the street frontage.</p>	<p><u>Standards:</u></p> <ul style="list-style-type: none"> Vertical subdivision shall be used to vary the street wall and to reduce the appearance of building height and bulk. Methods of subdivision are listed in <u>Guidelines</u>, below. 	 <p><i>Varied building heights along the street frontage.</i></p>

**VERTICAL MASS
(CONTINUED)**

Guidelines:

Methods to accomplish vertical subdivision include the following:

1. Design the ground floor of the building to read as a base for the rest of the structure; i.e. use arcades, loggias, and colonnades to wrap the building at its base.
2. Use secondary cornices at the top of storefronts, to differentiate the ground level from upper stories of the building (this should relate to or repeat the pattern of the upper cornice).
3. Use individual roofs at storefronts to differentiate from upper stories of the building. Smaller roofs should match the principal building in terms of style, detailing and materials, and be an integral part of the building's composition.
4. Use upper story stepbacks or partial indentations for upper story features such as balconies, outdoor decks, and/or aesthetic setbacks.
5. Use a change in material or treatment combined with a change in depth or plane.
6. Apply moldings or cornices to accentuate the horizontal layers of a building.



Ground floor designed as a base for larger building.



Stepbacks and indentations to reduce impression of height.

CORNER BUILDINGS

Buildings located on corners shall anchor street intersections.

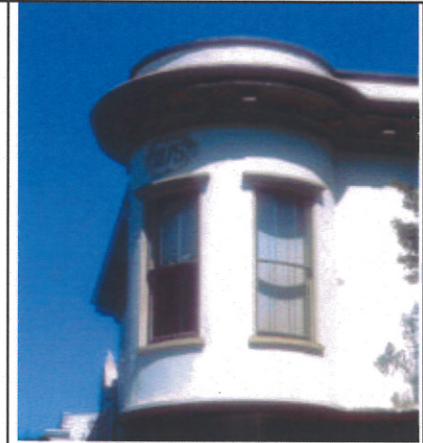
Standards:

- A modest articulation of the building mass shall be provided at corner sites. Methods of articulation are listed in Guidelines, below.

Guidelines:

Corner treatments should include at least one of the following:

1. A rounded or angled facet on the corner, maximum eight feet wide on the diagonal.
2. A pilaster on the corner.
3. Location of the building entrance at the corner.
4. An “embedded” corner tower (formed with architectural trim and ornament, not with volume protrusion).



A rounded window bay at the corner.



Location of a corner entrance.

SPECIAL SITES AND PROMINENT INTERSECTIONS

Special architectural treatment shall denote corner buildings at important sites and intersections.

Standards:

- Where buildings are located at major or “gateway” intersections, front important community spaces or anchor unique corners where sites create acute or obtuse angles, a prominent architectural corner treatment of the building mass is required. Treatment methods are listed in Guidelines, below.

Guidelines:

Corner treatments at important sites or intersections may include the following:

1. Creation of a prominent entry at the corner.
2. A special architectural “turning” of the corner with a major facade change.
3. Creation of a corner tower with a landmark roof form.
4. Special attention at building facades, including fenestration over at least 25% of the facade’s surface.



Prominent treatment at a highly public intersection.



“Turning” of the building at an y angled corner site.



Creation of a prominent entry feature at a corner.

MAIN ENTRANCES

To contribute to the public and pedestrian realm, building entrances shall be prominent and easy to identify.

Standards:

- The main entrance of a building shall be located at the primary street façade of the building, and shall be architecturally treated in a manner consistent with the building style.
- At mixed-use buildings, entrances to residential, office or other upper story uses shall be clearly distinguishable in form & location from retail entrances.

Guidelines:

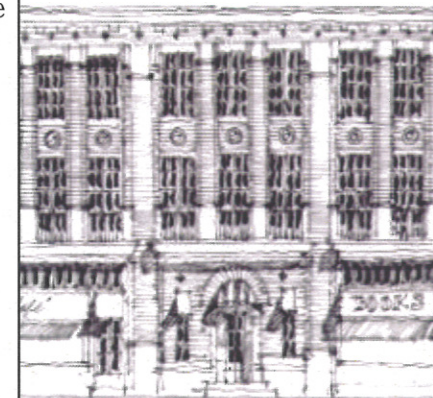
- Entrances should incorporate one or more of the following treatments:
 1. Marked by a taller mass above, such as a modest tower, or within a volume that protrudes from the rest of building surface;
 2. Accented by special architectural elements, such as columns, overhanging roofs, awnings, and ornamental light fixtures;
 3. Indicated by a recessed entry or recessed bay in the facade. Recommended treatments include special paving materials such as ceramic tile; ornamental ceiling treatments, such as coffering; decorative light fixtures; and attractive decorative door pulls, escutcheons, hinges, and other hardware.
 4. Sheltered by a projecting awning or canopy, designed as a canvas or fabric awning, or as a permanent architectural canopy utilizing materials from the primary building.
 5. Punctuated by a change in roofline or a major break in the surface of the subject wall.
 6. Provide shelter from weather and shade through use of awnings or sheltered bays.
- Entrances to upper-story uses should incorporate one or more of the following treatments:
 1. Located in the center of the façade between storefronts, as part of a symmetrical composition;
 2. Accented by architectural elements such as clerestory windows, sidelights, and ornamental light fixtures.
 3. Indicated by a recessed entrance, vestibule or lobby. Doorways should be recessed for privacy; but should be clearly expressed through awnings, high quality materials, or other architectural treatments.



Retail entrance marked by fabric awning.



Architectural detail and ornament at an entrance.



Main entrance to upper uses should be distinguishable form retail storefronts.

<p>SECONDARY ENTRANCES</p> <p>Side or rear building entries shall be visible and easy to find, but visually secondary to main entrances.</p>	<p><u>Standards:</u></p> <ul style="list-style-type: none"> ▪ Secondary entries, such as side or rear building entries, shall not be more architecturally prominent or larger than the front entry. ▪ The design of the side or rear entry shall be architecturally related to the front entry. ▪ Secondary entries shall be enhanced with detailing, trim and finish consistent with the character of the building. <p><u>Guidelines:</u></p> <ul style="list-style-type: none"> ▪ Secondary entries should be easy to find, particularly for customers accessing them from parking lots.
<p>LOADING AND SERVICE ENTRANCES</p> <p>Loading and services entrances shall not intrude upon the public view, or interfere with activities in the Downtown.</p>	<p><u>Standards:</u></p> <ul style="list-style-type: none"> ▪ Service entrances shall not face primary streets. All service entrances and associated loading docks and storage areas shall be located to the side or rear of the building. ▪ Portions of the building facade containing service or truck doors, which are visible from the public street, shall be designed to include attractive and durable materials and be integrated into the architectural composition of the larger building facade design. Architectural treatments, materials, and colors shall be extended from building facade areas into the facade portion containing truck doors to avoid creating a gap in architectural expression and to maintain a high quality appearance. <p><u>Guidelines:</u></p> <ul style="list-style-type: none"> ▪ Roll-up security doors should be detailed to conceal door housings and tracks, and provide an attractive and finished appearance for all exposed components.

ARCHITECTURAL STYLE:

The intent of the discussion of style that follows is to provide a design framework for new structures, to ensure that projects draw from the best of Livermore’s building traditions and do their part to contribute to the aesthetic harmony of Downtown.

New structures should be identifiable as “Livermore”, based on its most integral design styles and continuing its best traditions. They should be based on the same fundamental composition of the existing buildings in Livermore’s historic commercial Core, with a storefront base separated from the upper stories of the building, and incorporate characteristics commonly found in Downtown, such as symmetrical or near symmetrical façades, ; classical proportioning with a clearly defined base; detailing and ornamental relief; and simple overall form.

FACADE COMPOSITION

BUILDING BASE

All buildings shall create a base treatment that assists in visually establishing a human scale for pedestrian users and passers-by, and aesthetically “joins” the building to the ground.

Standards:

- Buildings shall incorporate a clearly defined building base, created by one of the treatments noted in Guidelines, below.
- The base treatment shall extend around all visible sides of the building.

Guidelines:

- Base treatment may occur at two different scales.
 1. At the scale of the pedestrian, a base should be created at some point between nine (9) inches and six (6) feet in height.
 2. At the scale of the building, the ground floor should read as a base that “joins” the building to the ground.



BUILDING BASE
(CONTINUED)

- A base treatment does not need to be the same on all sides of a building. The building base may be created by any of the following treatments:
 1. A small projection of the wall surface, which may be accompanied by a change of material and/or color.
 2. A thicker or heavier design treatment, such as a darker color and/or stronger material, for the entire ground floor than for the portions of the building above.
 3. A horizontal architectural feature at or below the first story mark, such as a series of openings, or a secondary cornice (related to or repeating the pattern of the upper cornice) separating the first two floors.
 4. A ground level arcade with columns, either recessed into the building volume or attached to the exterior, may be used. Column spacing should be regular and related to the structural bay of the building.
- Lower and upper stories should be separated by horizontal detailing such as an awning or belt course.



A clearly defined base with storefronts.



Base treatments that assist in establishing a sense of scale at the pedestrian level.

BUILDING MATERIALS

New construction shall take cues from regional and local tradition. Authentic materials and methods of construction should be used.

Standards:

- Simulated finishes, e.g. artificial stone using concrete form liners simulating naturalistic lines and shapes such as rubblestone, shall not be used.

Guidelines:

- The combination of materials on a building façade should be appropriate to its style and design. If the building mass and pattern of windows and doors is complex, simple wall surfaces are recommended. If the building volume and the pattern of wall openings are simple, additional wall texture and articulation should be employed.
- Materials used as primary cladding should be limited in number.
- Primary materials should be chosen to be consistent with building style and type. Materials to be used as the **primary** cladding on buildings include:
 1. Brick: Yellow, tan or other light colored brick is recommended. Full size brick veneer is preferable to thin brick tile. Brick veneers should be mortared to give the appearance of structural brick, and use wrap-around corner and bullnose pieces. An anti-graffiti coating is recommended.
 2. Wood: Horizontal sidings such as clapboard and tongue-in-groove, vertical siding such as board and batten, and other horizontal sidings such as smaller wood shingles and shakes may be suitable. Trim elements should be used. Wood panels may be inlaid as an accent material.
 3. Stone, cast stone, or other earthen materials such as terracotta. Stucco should not be used on commercial buildings.





Yellow brick in Downtown Livermore.



Wooden false front in Downtown.



Stone with carved ornament.

<p>BUILDING MATERIALS (CONTINUED)</p>	<ul style="list-style-type: none"> ▪ Accent materials are recommended to add interest and variety at a more intimate scale, for example, at individual storefronts, along architectural elements such as cornices, on portions of buildings or walls. Materials recommended for use as accents include brick, wood and stone, as listed above, and also include: <ol style="list-style-type: none"> 1. Ceramic tile: Tile should be used at storefront kickplates and below windows, as well as a decorative wall accent material. Grout color should be coordinated with tile and other building colors. 2. Profile, Corrugated, and Other Sheet, Rolled and Extruded Metal Surfaces: Metal should be used for accent and detailing only. Where used, sheet metal should be detailed with adequate thickness to resist dents and impacts, and should have trim elements to protect edges. Highly textured surfaces should not be used. 	 <p>Ceramic tile at the base of storefronts.</p>
	<ul style="list-style-type: none"> ▪ Materials that may be used along the bases of buildings (and on portions of buildings, such as columns, pilasters, or piers) to impart a sense of permanence and solidity include: <ol style="list-style-type: none"> 1. Precast Concrete: Textures, pigments, and special aggregates should be used to create rich surfaces. Precast concrete copings and trim are recommended for use with other materials such as poured-in-place concrete, concrete block, brick, stone, stucco and EIFS. The location of joints between castings and expansion joints should be incorporated into the facade composition. Grout and sealant colors should be coordinated with castings and other building colors. 	 <p>Poured concrete at a building base.</p>
	<ol style="list-style-type: none"> 2. Poured-in-Place Concrete: Long surfaces of uninterrupted flat concrete walls should be avoided. Concrete walls may be clad with other finish materials; poured concrete may be exposed as an architectural base or a sitework material. Where exposed, the location of formwork tie-holes, expansion joints and control joints should be incorporated into the facade composition. Textured form liners, pigments, stains, and special aggregates should be used to create rich surfaces. 3. Concrete Block: Concrete blocks of various block sizes, surface textures, and colors should be used as an architectural base or a sitework material; plain stack-bond concrete block walls are not recommended where visible. Decorative treatments should be used, such as alternating courses of differing heights, different surface textures (precision face and split face) and patterns of colored blocks. Cap and trim pieces should be used. Grout colors should be coordinated with block and other building colors 	

FAÇADE ELEMENTS

Surface features and façade elements shall relate to the building’s architectural style. Placement shall be based on the building’s overall proportions and bay spacing, in order to create a pattern of elements across the façade.

Guidelines:

- Horizontal ornament such as awnings or belt courses, string courses or cornice lines should be carried across adjacent facades to unify various building masses and convey the sense of a consistent building wall.
- Covered outdoor spaces, awnings and arcades are encouraged to protect pedestrians from summer heat and winter rain. These items should be located above the display windows and below the storefront cornice or sign panel.
 1. Storefront Awnings: Colored fabric mounted over a metal structural frame or permanent architectural awnings utilizing materials from the building architecture are both acceptable. Internally illuminated fabric awnings with signage should not be used.
 2. Trellises and Canopies: Materials, colors, and form should be derived from the building architecture, i.e. a trellis painted the same color as a building’s trim scheme is appropriate.
- For a sequence of storefronts or windows, a line of discrete awnings or canopies for each storefront or building bay should be used, rather than one continuous run-on awning. They should avoid covering up intermediate piers, pilasters, or other architectural features.
- Classical detailing should be used to ornament a facade, such as pilasters, wood detailing and embossed relief.
- Ornamental wall-mounted outdoor lighting (sconces) can be used to accent entries or rhythms of repeating pilasters.
- Alcoves, balconies and porches are encouraged at upper stories to provide outdoor spaces for upper story tenants.
- Window boxes, or other wall-mounted elements below storefront windows can be used to add interest at a pedestrian scale.



Horizontal detailing should be carried across adjacent facades where possible.



Individual awnings at storefronts.



Classical detailing and ornament.



Window boxes as storefront accessory.

WINDOWS

Windows shall be designed to be in keeping with the historic character of Downtown.

Standards:

- Buildings shall include vertically proportioned façade openings, with windows that have a greater height than width (an appropriate vertical/horizontal ratio ranges from 1.5:1 to 2:1). Where glazed horizontal openings are used, they shall be divided with multiple groups of vertical windows.
- Storefront windows shall encompass a minimum of sixty percent (60%) of the storefront façade. For buildings with multiple storefront facades, the review authority may authorize a reduction in storefront windows on the secondary frontage(s) where the design is found to be compatible with the character of Downtown. Where greater privacy is desired for restaurants or professional services, windows should be divided into smaller panes.
- Windows on the upper floors shall be smaller in size than storefront windows on the first floor, and shall encompass a smaller proportion of facade surface area.
- Aluminum sliding windows should be designed to have substantial framing members, at a minimum width of two (2) inches. Bare aluminum trim shall not be used.
- Deeply tinted glass or applied films are not permitted.
- Reflective glazing shall not be used.
- Upper story windows shall be detailed with architectural elements, such as projecting lug sills molded surrounds, and/or lintels.

Guidelines:

- Windows should maintain consistency in shape and in location across the façade, and be coordinated with facades of adjacent buildings. Unifying patterns should include a common window header line or sill line, and/or aligned vertical centerlines of windows and doors. The overall effect should create a harmonious pattern across the street wall.
- Commercial clerestory and transom windows are recommended to provide a continuous horizontal band or row of windows across the upper portion of the storefront.



Vertical proportioning, especially at windows.



Ground floor windows should encompass more wall than upper windows.

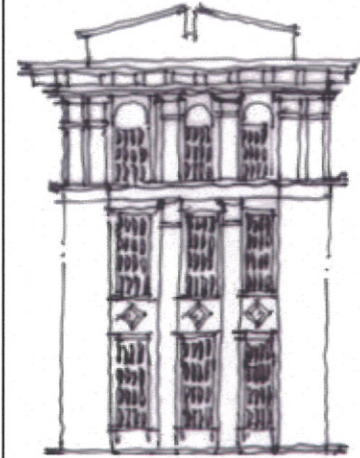


Clerestory windows above storefronts.

**WINDOWS
(CONTINUED)**

Guidelines (continued):


- Decorative treatments on windows or balconies are recommended if consistent with building style, for example, pedimented windows (i.e. with a low-pitched gable above the opening) on Italianate or Colonial Revival buildings.
- Shaped frames and sills, detailed with architectural elements such as projecting sills, molded surrounds, and/or lintels (i.e. horizontal beams bridging the opening), should be used to enhance openings and add additional relief. They should be proportional to the glass area framed, i.e. thicker framing members at larger windows.
- Window frames should not be flush with walls. Plaster reveals and wainscoting should be used to create the appearance of deep-set doors and windows. For individual window openings in walls, window glass should be inset a minimum of three (3) inches from the exterior wall surface to add relief to the wall surface.
- Large expanses of glass should not be used, except at storefront windows. Windows should be subdivided and separated by mullions. Snap-in muntins should not be used.
- Clear glass is recommended. If tinted glazing is used, light tints and green, gray or blue hues are recommended. Deeply tinted glass is not permitted.
- For heat and glare control, non-reflective films, coatings, low emissivity glass, and external and internal shade devices should be used for heat and glare control.
- To add privacy and aesthetic variety to glass, fritted glass, spandrel glass and other decorative treatments are recommended.



Decorative treatments around windows.



Windows should be inset from wall surface.

<p>DOORS</p> <p>Doors are the one part of the building façade that patrons will inevitably see and touch - they shall be well-detailed to convey the quality of the Downtown.</p>	<p>Standards:</p> <ul style="list-style-type: none">▪ Doors at storefronts shall include windows that permit views into the establishment. <p>Guidelines:</p> <ul style="list-style-type: none">▪ Doors at storefronts are recommended to have large windows, to permit views into the establishment. They should match the materials, design and character of the display window framing. High quality materials such as crafted wood, stainless steel, bronze, and other ornamental metals are recommended.▪ Detailing such as carved woodwork, stonework, or applied ornament should be used, to create noticeable detail for pedestrians and drivers. Doors may be flanked by columns, decorative fixtures or other details.▪ Doorways leading to upper story uses should be distinguishable from those leading to retail establishments.	 <p>Storefront doors should match the storefront façade.</p>
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ROOFS

ROOF TYPES

Roofs shall match the principal building in terms of style, detailing and materials. They shall contribute expressive and interesting forms that add to the overall character of the Downtown.

Standards:

- Flat or shallow pitched roofs shall be used at buildings fronting First Street, and shall be designed with one or more of the treatments stated in Guidelines, below.
- Mansard roofs (i.e. a flat-topped roof that slopes steeply down on all four sides, thus appearing to sheath the entire top story of the building) shall only be acceptable as follows:
 1. Buildings with a mansard roof shall be a minimum of 2 stories and 26' in height measured from the ground to the mean height level between the eaves and the ridge.
 2. The maximum slope shall be no steeper than three feet of rise for every two feet of run (3:2).
 3. The height of mansard roofs (from eave to roof peak) shall be one (1) typical building story height or thirty per cent (30%) of the building façade height as measured to the eave, whichever is smaller.
 4. Mansard roofs shall fully enclose the perimeter of a building. Where a break in the horizontal run of mansard roof occurs, an architectural termination is recommended (e. g. the roof intersects into a tower).
 5. Mansard roofs shall include a cornice at the eave line and an edge termination at the peak.



Straight parapet with railing detail and cornice.



Special roof forms should be limited to special buildings.



Buildings with a mansard roof shall be a minimum of 2 stories in height or 26 feet.

**ROOF TYPES
(CONTINUED)**

Guidelines:

- Deeply sloping roof forms, such as gable, hip, and pyramid roofs, and curved roofs, such as barrel vaults, should be limited to prominent or special buildings, such as performing arts facilities.
- Flat or shallow pitched roofs should be ornamented with shaped parapets or cornice treatments, using one of the methods below:
 1. The primary cornice should be decorated or bracketed with parapets, finials, or simple decorative panels or molding.
 2. An architecturally profiled cornice and/or expressed parapet cap should be used to terminate the top of the parapet wall.
 3. Surface mounted cornices, continuous shading elements, or trellises should be used to strengthen a parapet wall design.
 4. Sheet metal parapet caps or coping should provide a formed (compound folded) overhanging edge termination and a heavy gage sheet metal thickness selected to avoid oilcanning distortion. Single layer, flush sheet metal parapet caps should not be used.
- Smaller roofs may be used at storefronts; these should match the principal building in terms of style, detailing and materials..



Cornice detail with dental moldings.



Shaped parapet

- Roof overhangs are encouraged to add depth, shadow and visual interest, and should be designed as follows:
 1. At roof overhangs, vertical roof edge fascia over eighteen (18) inches in height are recommended to be “broken down” by additional horizontal layers, stepbacks, trim, and other detailing.
 2. Brackets and corbels (i.e. decorative supporting pieces designed to bear the weight of projected overhangs), or other expressed roof overhang supports (whether structural or nonstructural) are encouraged to add richness to detailing. The spacing module of repeating supports should relate to the building’s structural bay spacing or window mullion spacing.
 3. The soffit (i.e. the underside surface of the roof overhang) should be designed as a visible feature and incorporated into the overall architectural composition. Soffit beams, coffers, light fixtures and other design articulation are encouraged.



Brackets and supports beneath a Downtown roof.

ROOF MATERIALS

Roof materials shall match the existing context of Downtown. Experimental, severe, and/or nontraditional materials should not be used.

Guidelines:

- Recommended roof materials include:
 1. Terra Cotta or Concrete Tile: Red tile roofs are encouraged for Mediterranean or Spanish Revival architectural styles. Projects are recommended to use authentic terra cotta barrel tiles and avoid simulated products.
 2. Slate or slate-like materials: Weathering or unfading colors are recommended to be used. Mottled and weathered textures are also acceptable if authentic slate material; overtextured simulation should be avoided.
 3. Tar and Gravel, Composition, or Elastomeric Roofs (flat roof locations): Light, reflective colors are recommended to minimize heat gain within the buildings. When used, these materials should be screened from view from adjacent buildings and sites by parapet walls.
 4. Asphalt shingles: Projects using asphalt shingles should use the highest quality commercial grade materials, and be provided with adequate trim elements. Lightweight asphalt shingles should not be used.
- Accent materials should be used in limited locations, and be consistent with architectural style of the structure. The following roof materials are acceptable as accents:
 1. Metal Seam Roofing: Finishes should be anodized, fluorocoated or painted. Copper, zinc, and other exposable metal roofs should be natural or oxidized.
 2. Corrugated Metal Roofing: The structural support detailing of corrugated metal roofing should insure that metal roof edges and panels will not sag, bend, or be vulnerable to impacts and denting. This is important at locations where undersides and edges of corrugated metal roofing are visible.



Red tile roof at a commercial structure.

<p>ROOF EQUIPMENT AND SCREENING</p> <p>All building equipment located on roofs shall be screened from view, to establish a level of “clean” design throughout the Downtown.</p>	<p><u>Standards:</u></p> <ul style="list-style-type: none">▪ Roof mounted equipment such as cooling and heating equipment, antennae and receiving dishes shall be completely screened by architectural enclosures that are derived from the building’s architectural expression.▪ Screening of on-site mechanical equipment shall be integrated as part of a project’s site and building design and shall incorporate architectural styles, colors and other elements from the roof and façade composition to carefully integrate screening features. Picket fencing, chain-link fencing and metal boxes are prohibited. <p><u>Guidelines:</u></p> <ul style="list-style-type: none">▪ Roof-mounted equipment may be located behind parapets or recessed into roof hips or gables, or enclosed within roof volumes.▪ Materials, architectural styles, colors and/or other elements from the facade composition shall be used to integrate the screening into the building’s architecture.▪ In the design of screening enclosures, use dimensional increments of window spacing, mullion spacing, or structural bay spacing taken from the facade composition.▪ The location, spacing, materials, and colors of downspouts, gutters, scuppers, and other roof drainage components should be incorporated into the architectural composition of the facade and roof. Downspouts should be concealed within walls or located to harmonize with window spacing and facade composition.
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COLOR:

Colors throughout the Downtown should be light in color and tone, in keeping with the character of Downtown Livermore. Colors that reflect the City's relationship with the countryside, the tones of the surrounding landscape, and the golden hues of the surrounding hills are particularly encouraged; however, care should be taken that drab earth and overly neutral tones not be used. The paint color for any new building and the modification of the paint color of any existing building shall be reviewed by the City for compliance with the guidelines established below.

Standards:

- Light colored roofs shall be completely screened by architectural enclosures that are derived from the building's architectural expression, i.e. parapet walls or other screening treatment.

Guidelines:

- Primary building colors, used at building walls, garden walls, and other primary building elements, should be restrained and neutral in hue. These may include light earth tones that are in keeping with Livermore's agricultural heritage, as well as other tones found in the Downtown. Stark, extreme colors like white or black should not be used as primary wall colors.
- Colors should be compatible with other buildings in the district. Colors of adjacent buildings should be taken into consideration, especially where new structures are adjacent to historic buildings.
- Secondary color should complement the primary building color, and may be a lighter shade than the body color, or use more saturated hues. Secondary color can be used to give additional emphasis to architectural features such as building bases or wainscots, columns, cornices, capitals, and bands; or used as trim on doorframes, storefront elements, windows and window frames, railing, shutters, ornament, fences, and similar features.
- Accent colors may be more saturated in color, or brighter in tone, and used to highlight special features such as doors, shutters, gates, ornament, or storefront elements. Bright colors should be limited to retail establishments, and used sparingly at fabric awnings, banners, window frames, or special architectural details. A restrained use of bright colors allows display windows and merchandise to catch the eye and stand out in the visual field.
- Fluorescent colors should not be used.

