

CONDITIONAL USE PERMIT MODIFICATIONS SUBMITTAL: GRANADA SHOPPING CENTER

1951 HOLMES STREET
LIVERMORE, CALIFORNIA 94550



SHEET INDEX

ARCHITECTURAL

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- A2.1a FLOOR PLAN
- A4.1 EXTERIOR ELEVATIONS
- A8.1 CURRENTLY APPROVED SITE DETAILS
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CIVIL

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- C2.0 TOPOGRAPHIC SURVEY
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LANDSCAPE

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GRANADA SHOPPING CENTER
1951 HOLMES STREET
LIVERMORE, CALIFORNIA 94550

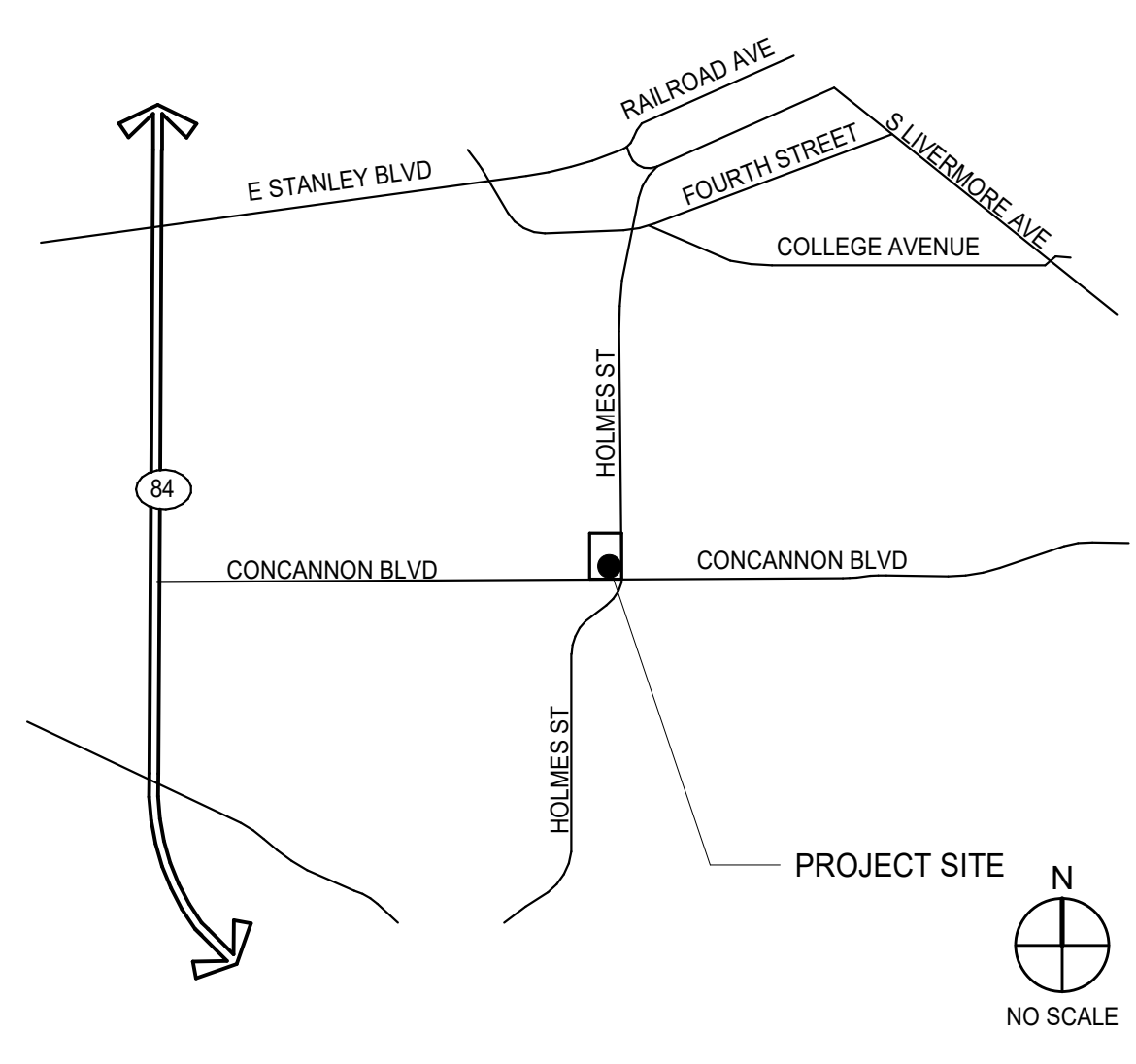
TITLE SHEET

DATE: 09-12-2021
REMARKS: CUP MODIFICATIONS SUBMITTAL

PA/PM:
DRAWN BY: A.K.
JOB NO.: SNR18-0053-00

SHEET
A0.1

VICINITY MAP



OWNER

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ARCHITECT'S CONSULTANTS

LANDSCAPE ARCHITECT
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WALNUT CREEK, CALIFORNIA 94596
RICK STOVER
PH: (925) 933-2583 x 105

CIVIL

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4683 Chabot Dr #300
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BRIAN NGUYEN
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ARCHITECT

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PROJECT DATA

SITE DATA	
LOT	6.39 AC
BUILDING 1 AREA	2,266 S.F.
BUILDING COVERAGE	0.8 %
LANDSCAPE AREA	6,517 S.F.
LANDSCAPE COVERAGE	2.3 %
ACCESSOR'S PARCEL NO.	99-312-6-2

PROJECT DESCRIPTION

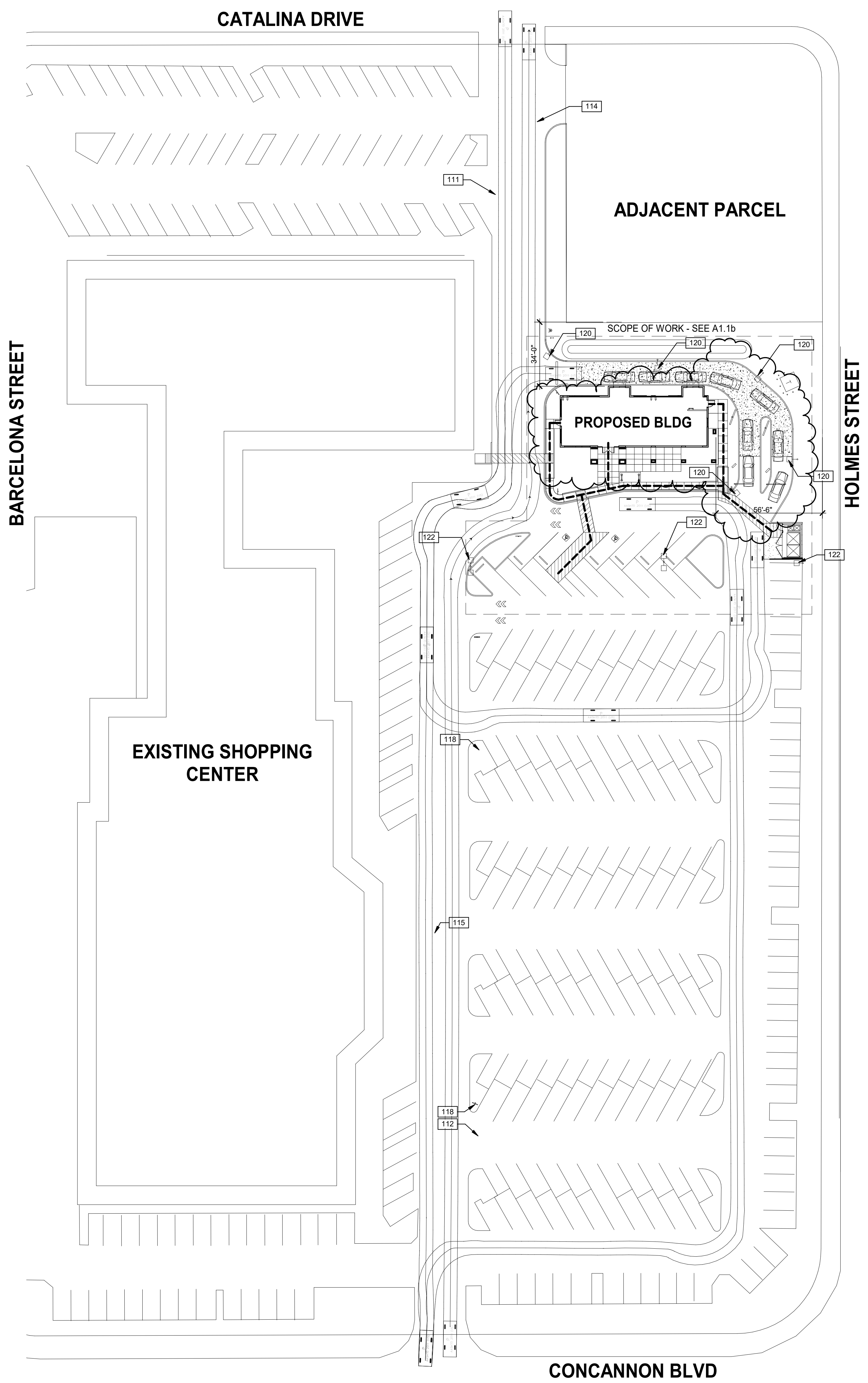
MODIFICATION OF CURRENTLY APPROVED BUILDING TO INCLUDE INCREASING FOOTPRINT TO 2,266 SF COLD DARK SHELL RESTAURANT BUILDING WITH DOUBLE DRIVE THRU IN AN EXISTING SHOPPING CENTER. SITE ALTERATIONS TO INCLUDE REVISED DRIVES, LANDSCAPING & SITE LIGHTING.

PARKING INFORMATION

EXISTING SHOPPING CENTER PARKING REQUIRED	238 STALLS
EXISTING PARKING ON SITE	351 STALLS
PARKING REMOVED FOR NEW BUILDING	96 STALLS
PARKING SUBTOTAL	313 STALLS
PARKING REQUIRED BY NEW CN DISTRICT BUILDING	10 CN DISTRICT REQUIRED
TOTAL PARKING REQUIRED	257 STALLS
SURPLUS PARKING	96 STALLS
ACCESSIBLE PARKING ADDED	2 STALLS

EXISTING PARKING REQUIREMENTS SUMMARY TABLE

LUCKY	3940/300 = 131.3
FREMONT BANK	3846/300 = 12.8
ANYTIME FITNESS	5296/300 = 17.7
NAILS	1313/300 = 4.4
COSMOPROF	2459/300 = 8.2
MOUNTAIN MIKE PIZZA	2319/100 = 23.2
BARBER	450/300 = 1.5
MAIL	1320/300 = 4.4
SUBWAY	1300/300 = 4.3
CLEANERS	1320/300 = 4.4
VET	1958/300 = 6.5
LIQUOR	1631/300 = 5.4
UNCLE CREDIT UNION	1000/300 = 3.3
COUNTRY WAFFLES	2970/300 = 9.9
TOTAL	238



NOTES

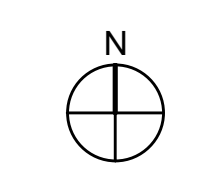
- SEE SHEET A0.2 FOR GENERAL NOTES
- 111 PATH OF TRAFFIC FROM CATALINA DRIVE TO NEW DRIVE THRU
- 112 PATH OF TRAFFIC FROM CONCANNON BLVD TO NEW DRIVE THRU
- 114 PATH OF TRAVEL FROM DRIVE THRU TO CATALINA DRIVE
- 115 PATH OF TRAVEL FROM DRIVE THRU TO CONCANNON BLVD
- 118 DIRECTIONAL SIGNAGE TO DRIVE THRU
- 120 RELOCATED SITE LIGHTING
- 122 EXISTING SITE LIGHTING TO REMAIN

SITE LEGEND

- — — — — PROPERTY LINE
- — — — — ACCESSIBLE PATH OF TRAVEL: 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE
- ☐ POLE MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- ⊕ WALLPACK LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- ☐ T TRANSFORMER WITH CONCRETE PAD, SEE ELECTRICAL DRAWINGS. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- ⊗ PARKING STALL COUNT TOTAL
- ▲ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- ⊕ FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- ⚡ P.I.V. WITH TAMPER, SEE FIRE PROTECTION DRAWINGS

CURRENTLY APPROVED SITE PLAN ①
SCALE: 1" = 30'-0"

PROPOSED SITE PLAN ②
SCALE: 1" = 30'-0"



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GRANADA SHOPPING CENTER
1951 HOLMES STREET
LIVERMORE, CALIFORNIA 94550

SITE PLAN

DATE
02.12.2021

PA/PM:
DRAWN BY: A.K.
JOB NO.: SNR18-0053-00

SHEET
A1.1

NOTES

- SEE SHEET A0.2 FOR GENERAL NOTES
- 120 RELOCATED SITE LIGHTING
- 122 EXISTING SITE LIGHTING TO REMAIN

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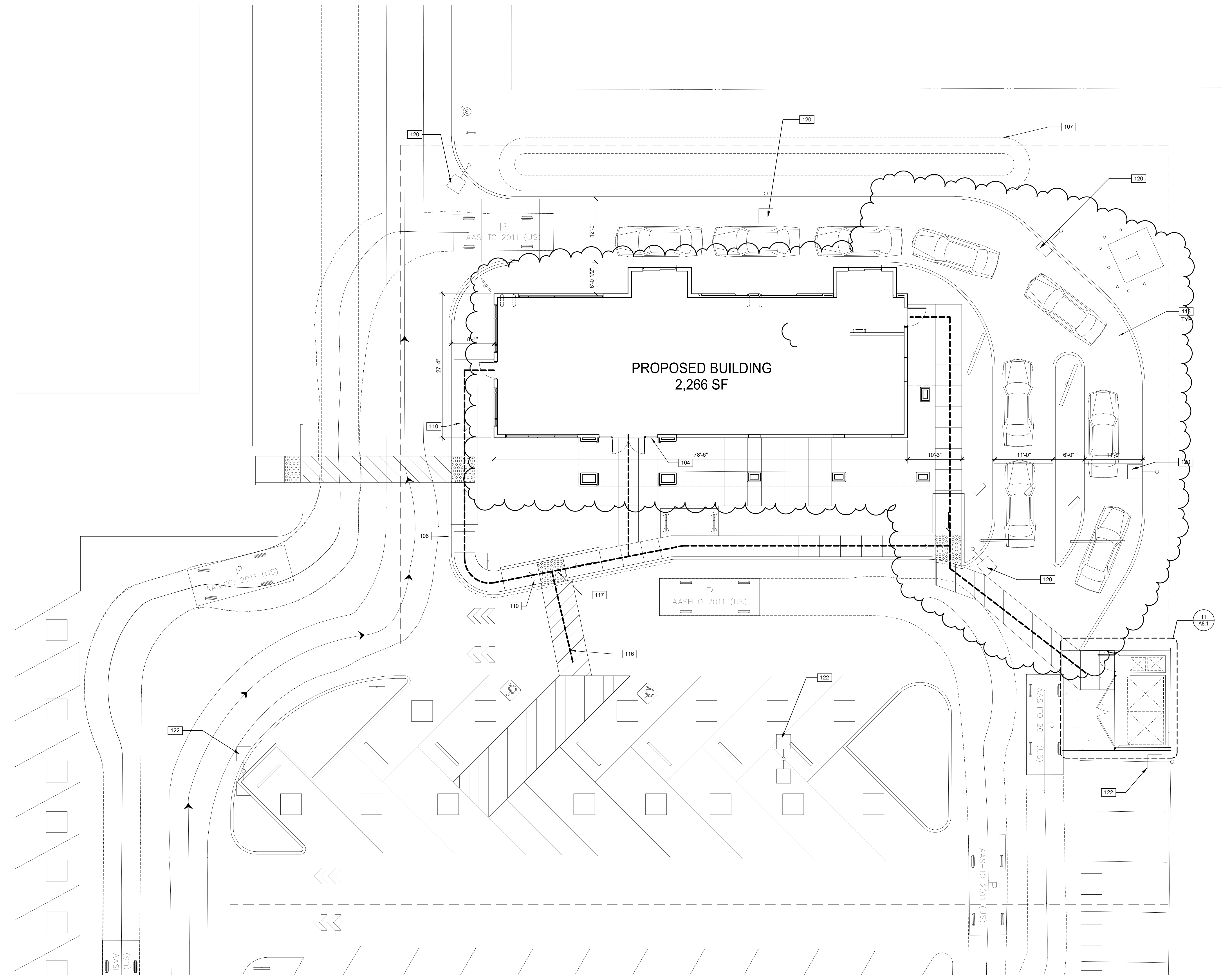
GRANADA SHOPPING CENTER
 1951 HOLMES STREET
 LIVERMORE, CALIFORNIA 94550

ENLARGED SITE PLAN

DATE	REMARKS
09.12.2021	CIP MODIFICATIONS SUBMITTAL

PA/PM:	
DRAWN BY:	A.K.
JOB NO.:	SNR18-0053-00

SHEET
A1.1b

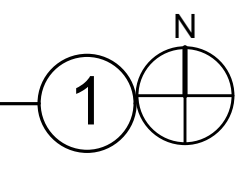


SITE LEGEND

- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE
- POLE MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- WALLPACK LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- TRANSFORMERS (WITH CONCRETE PAD, SEE ELECTRICAL DRAWINGS; (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- PARKING STALL COUNT TOTAL
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- P.I.V. WITH TAMPER, SEE FIRE PROTECTION DRAWINGS

PROPOSED ENLARGED SITE PLAN

SCALE: 1/8" = 1'-0"



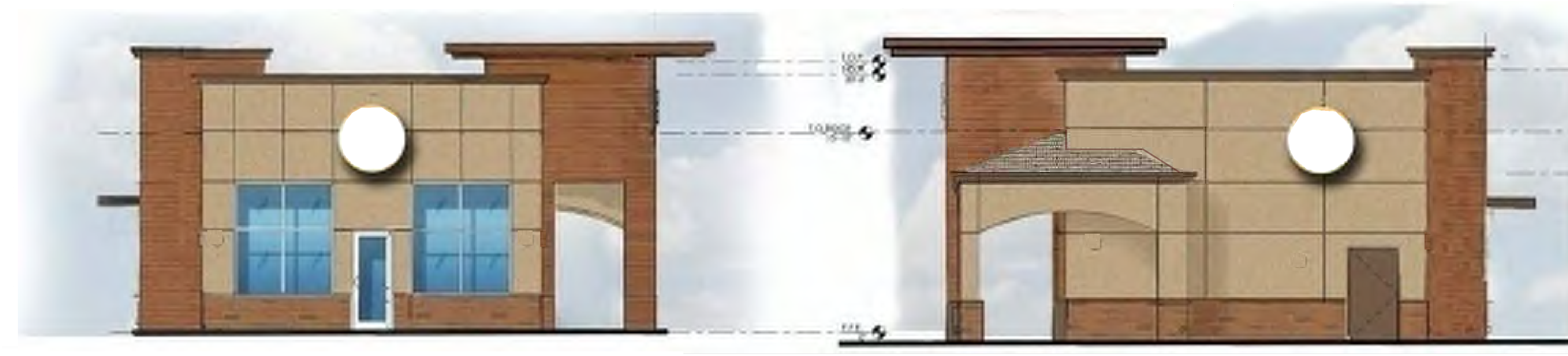
NOTES



SOUTH EXTERIOR ELEVATION
NOT TO SCALE ①



NORTH EXTERIOR ELEVATION
NOT TO SCALE ②







WEST EXTERIOR ELEVATION
NOT TO SCALE ③

EAST EXTERIOR ELEVATION
NOT TO SCALE ④

LEGEND

MATERIAL / FINISHES
(PROPOSED BUILDING)

	
BODY COLOR: TANNERS TAUPE PPG	FASCIA, TRIMS: MONTEREY CLIFFS PPG
	
FAUX USED BRICK -PER SPEC	NACHINHA VINTAGE CEDAR

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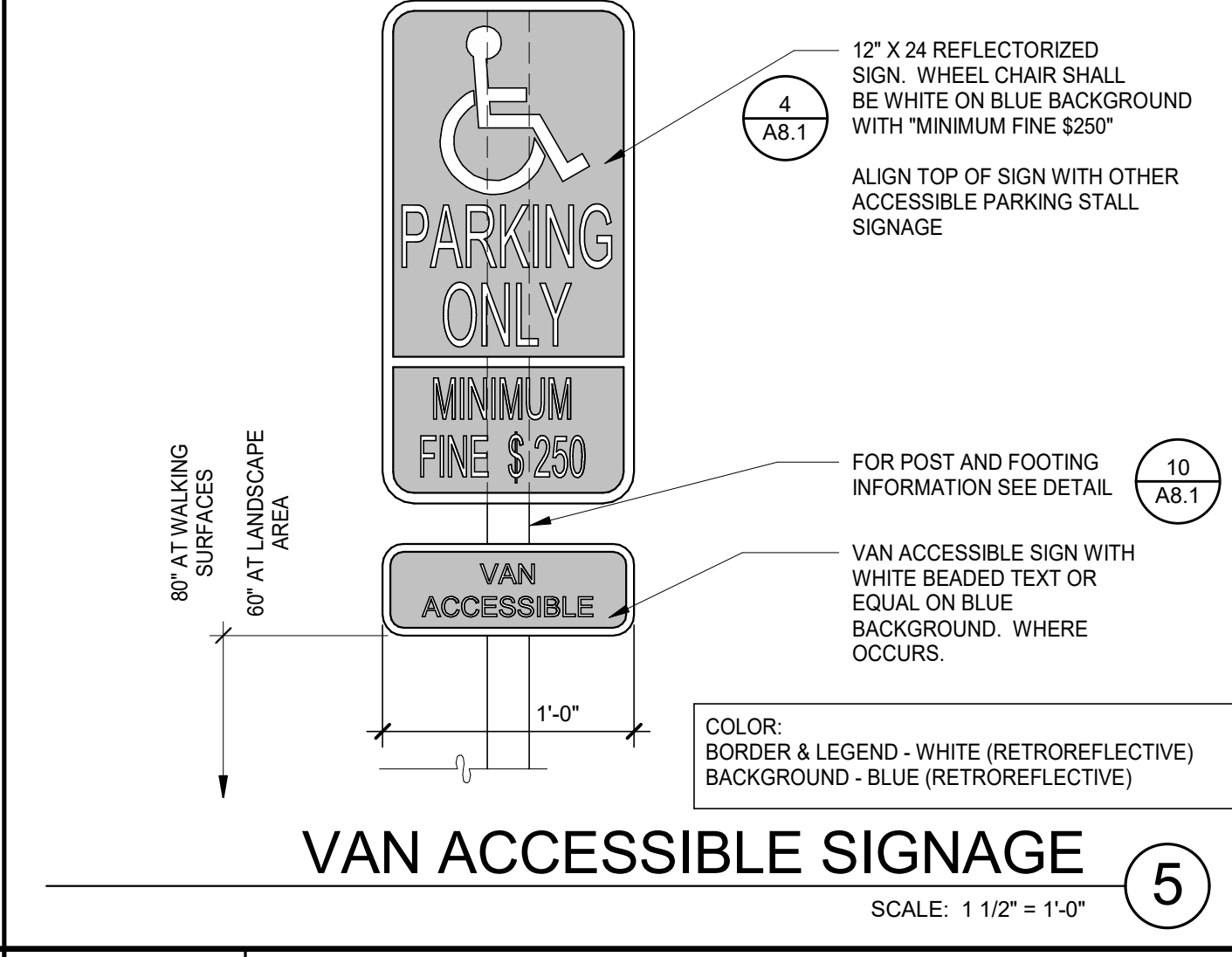
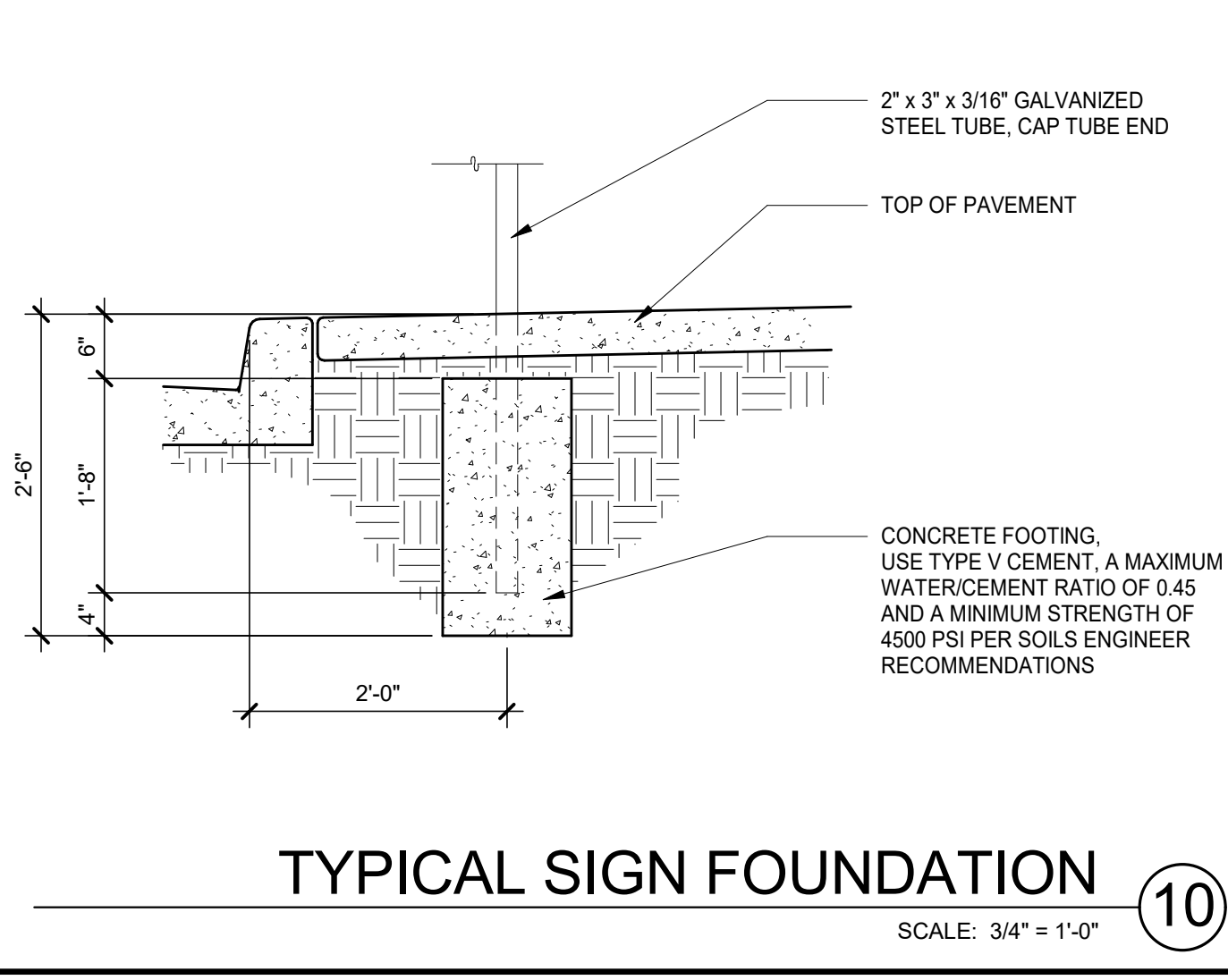
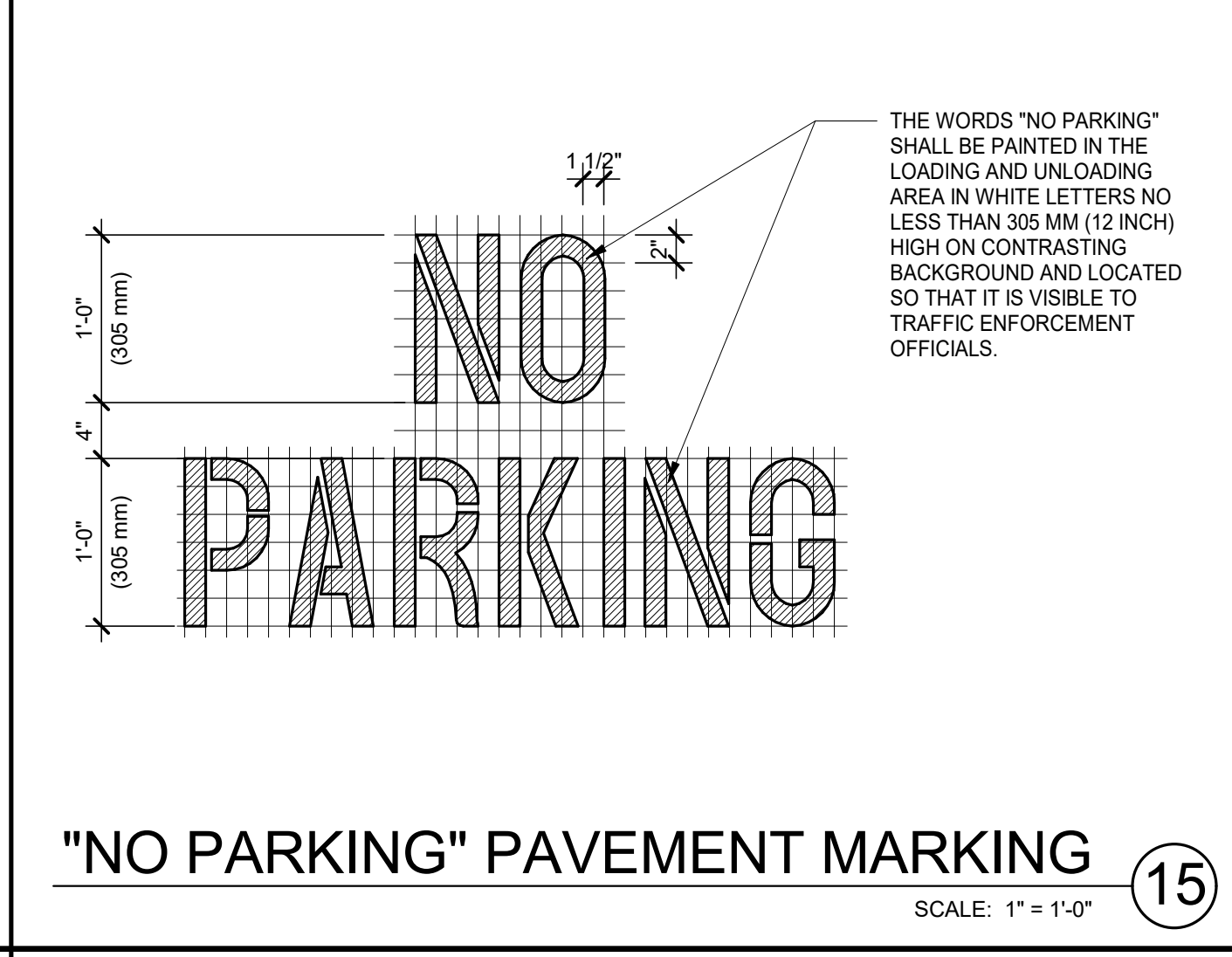
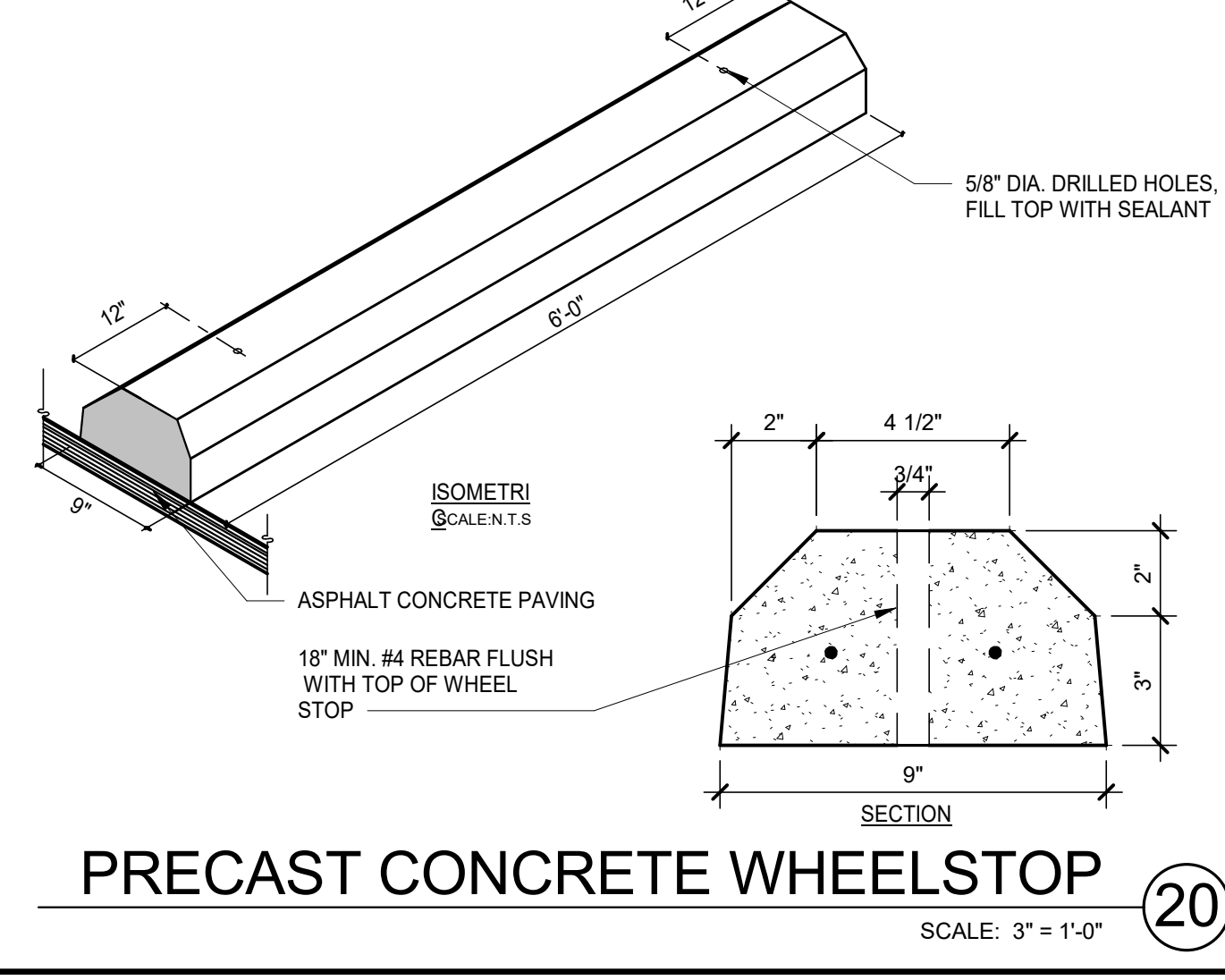
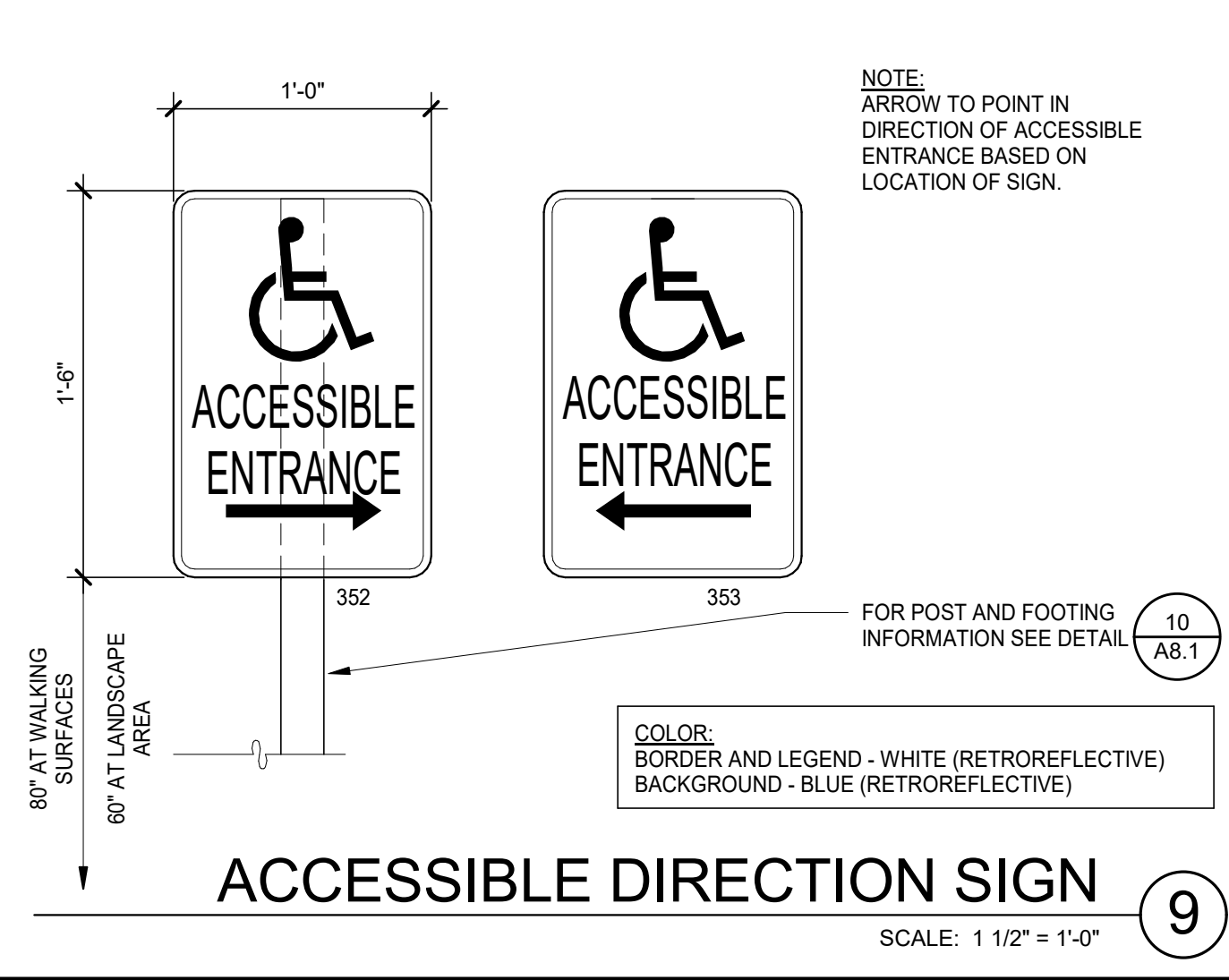
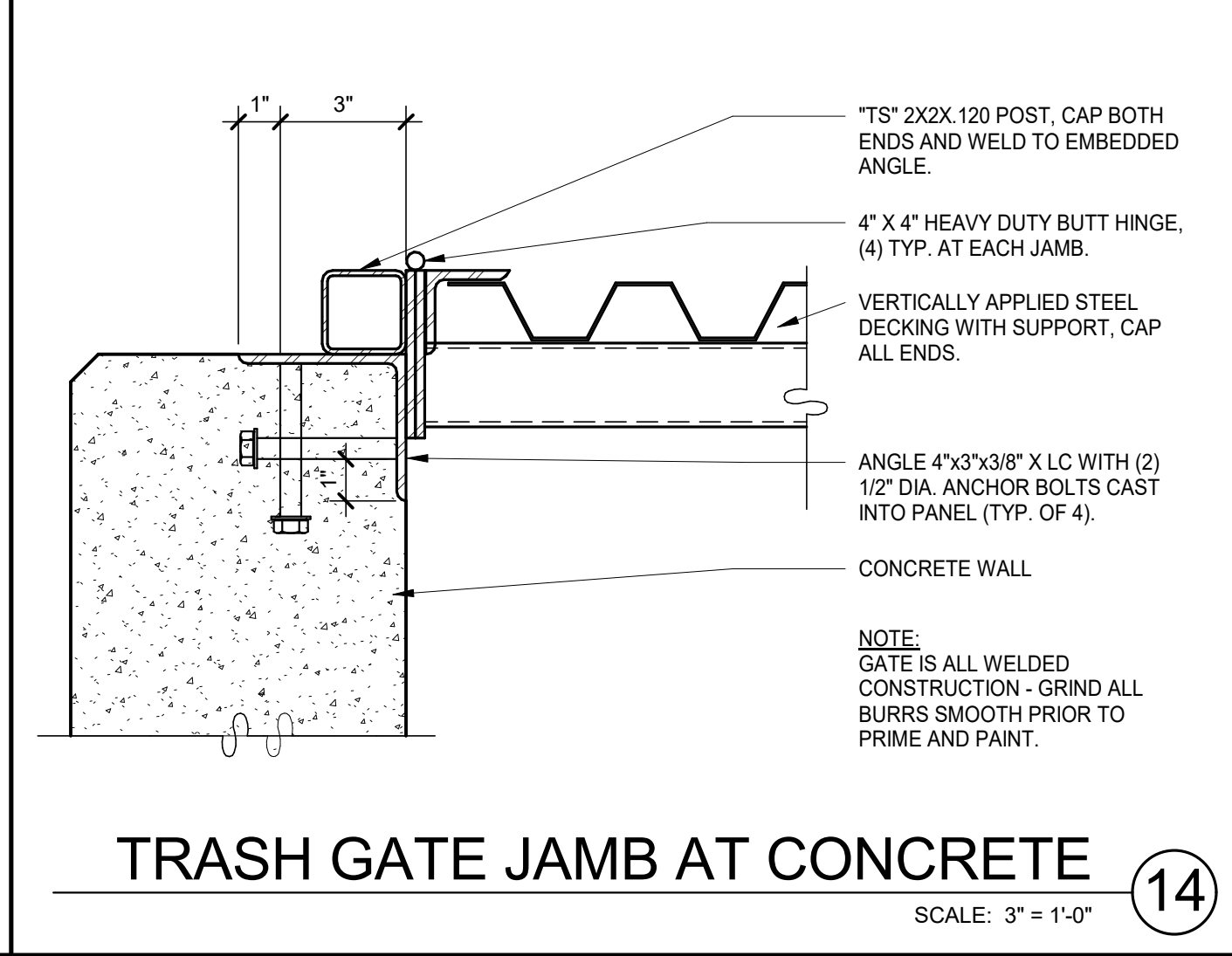
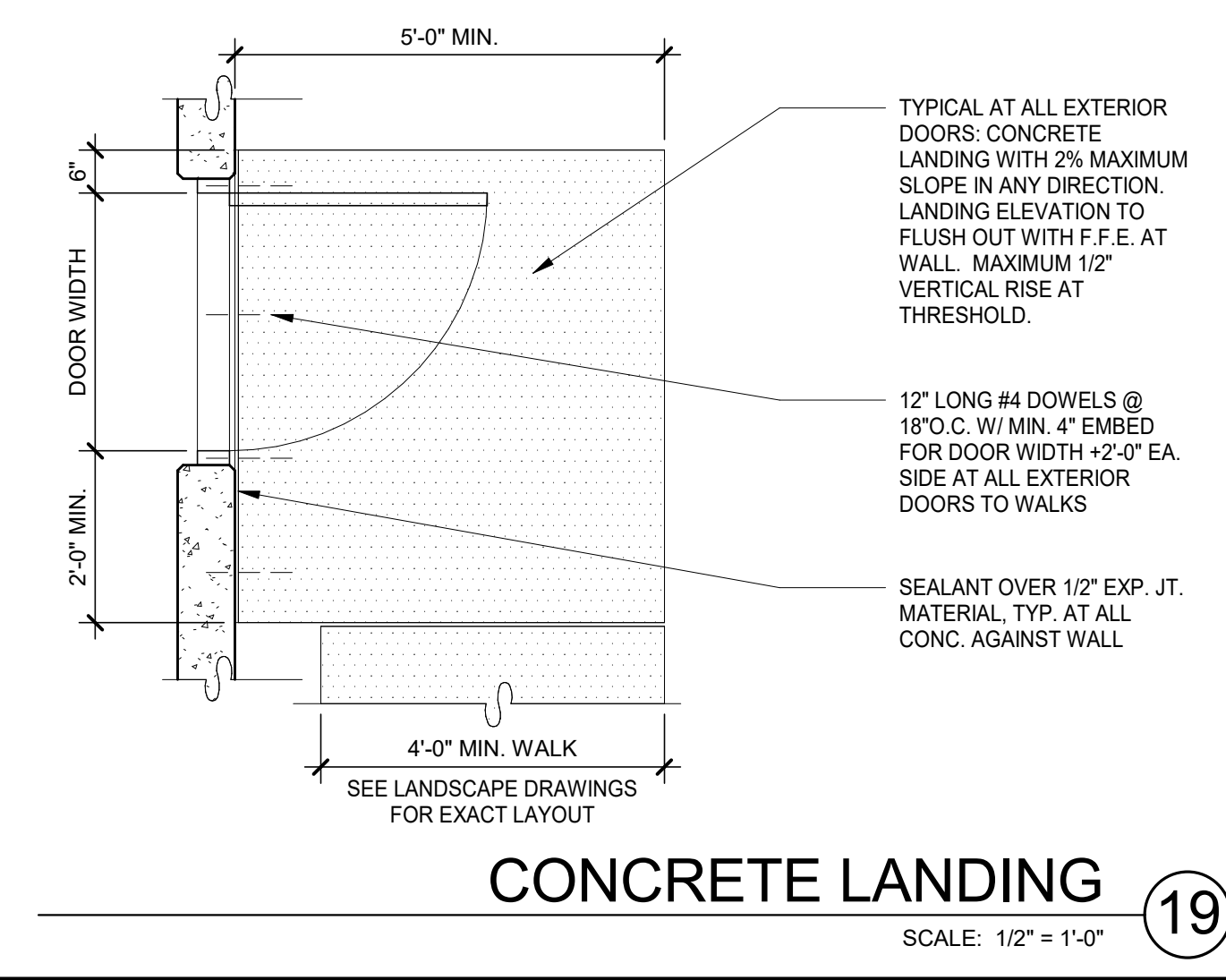
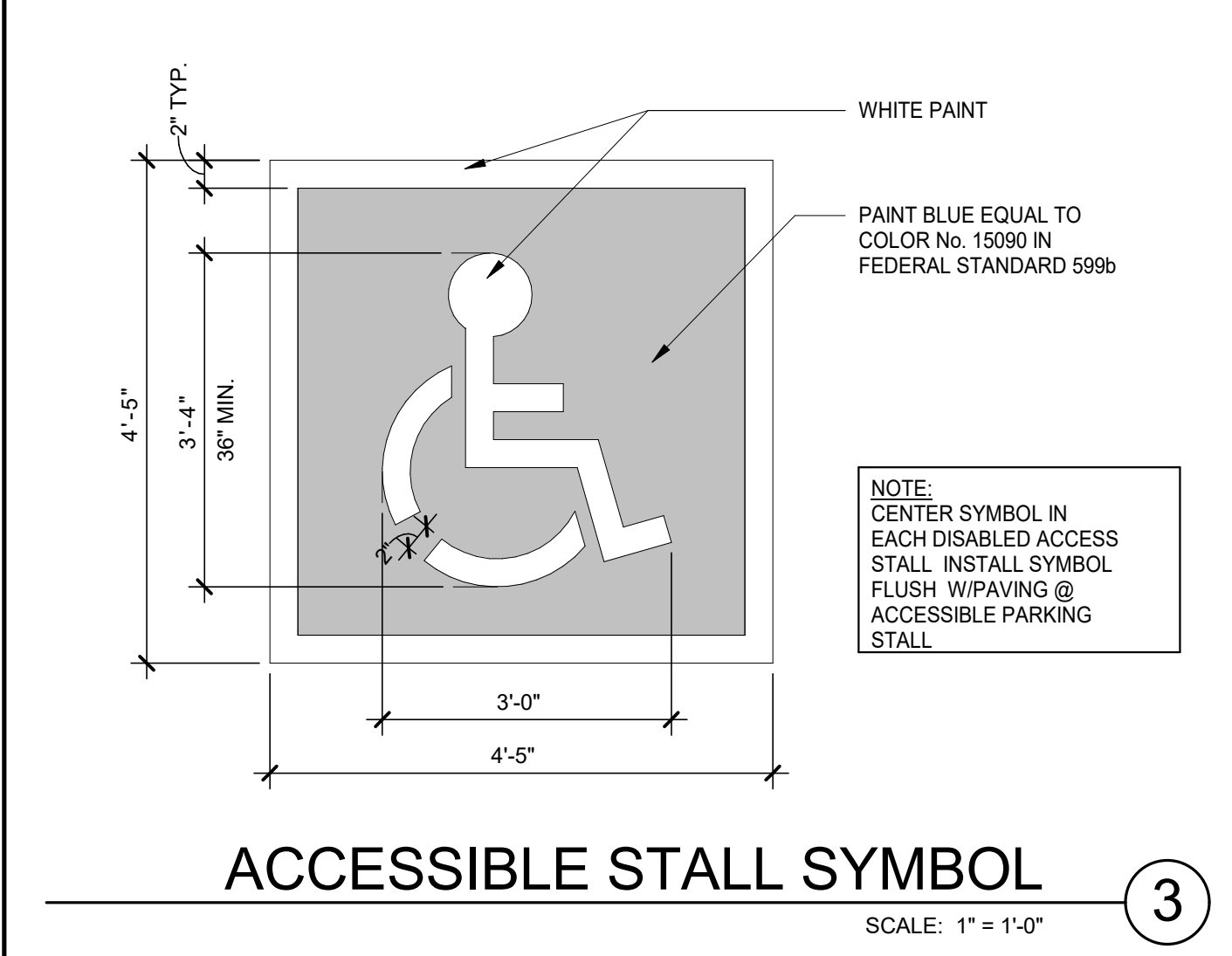
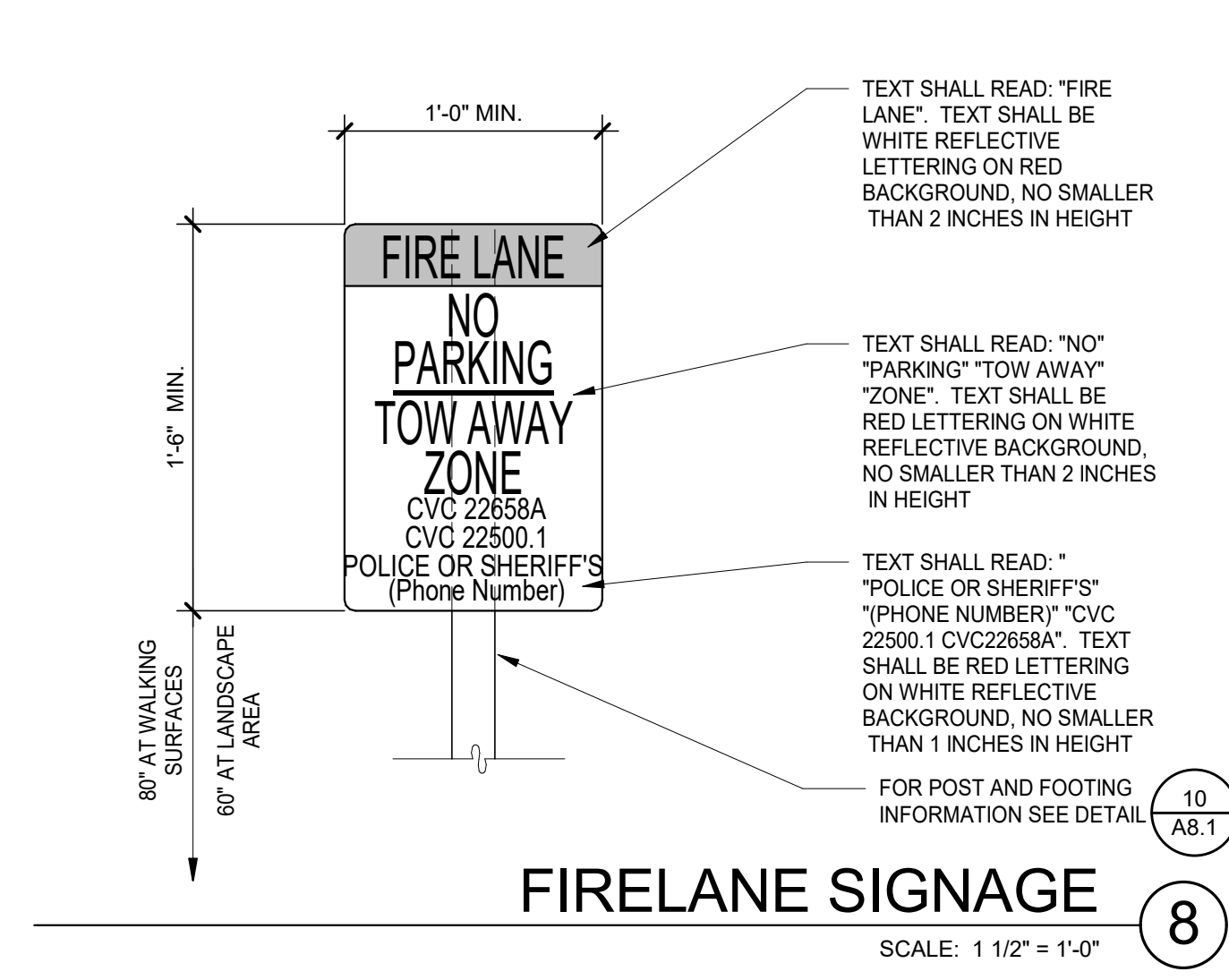
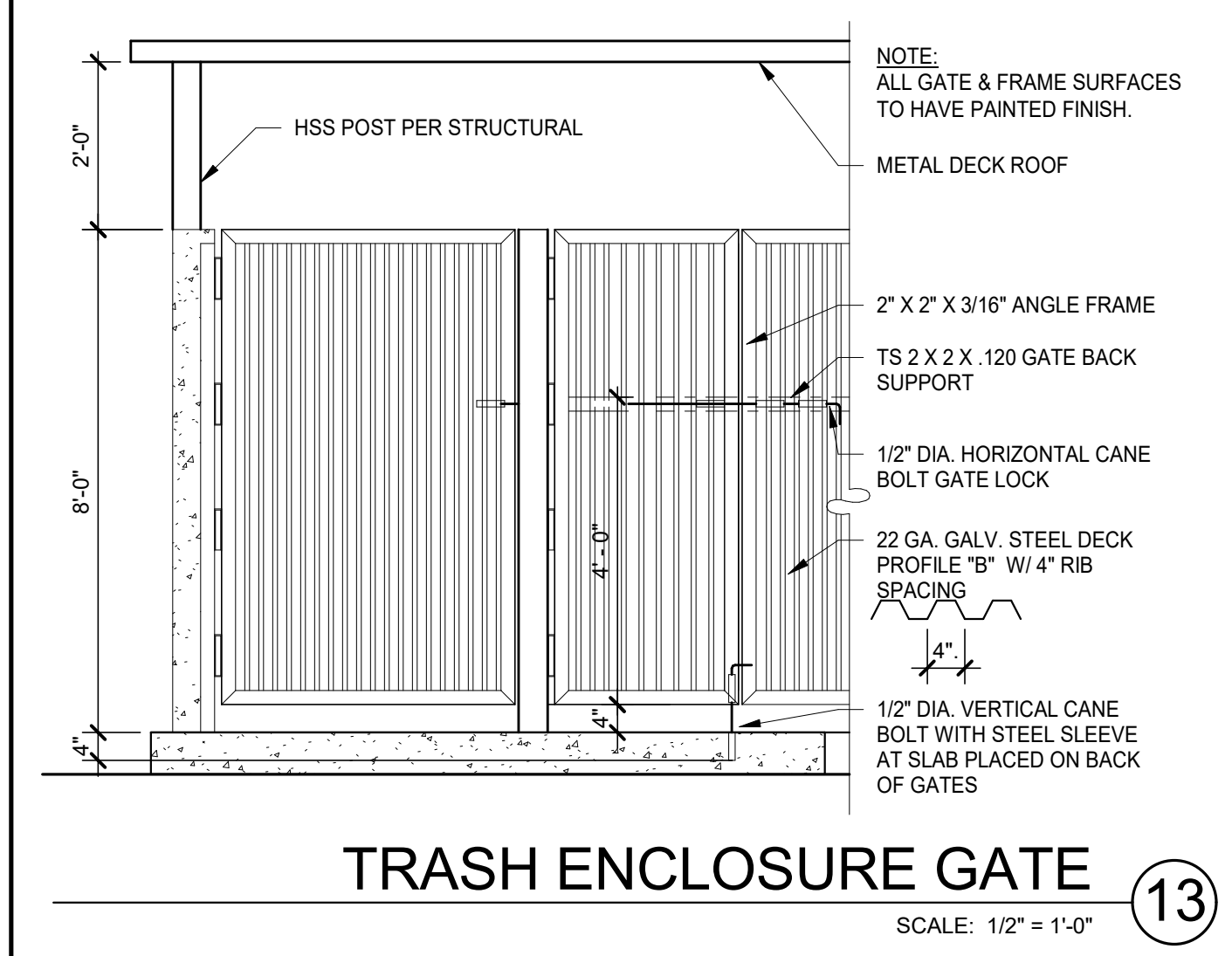
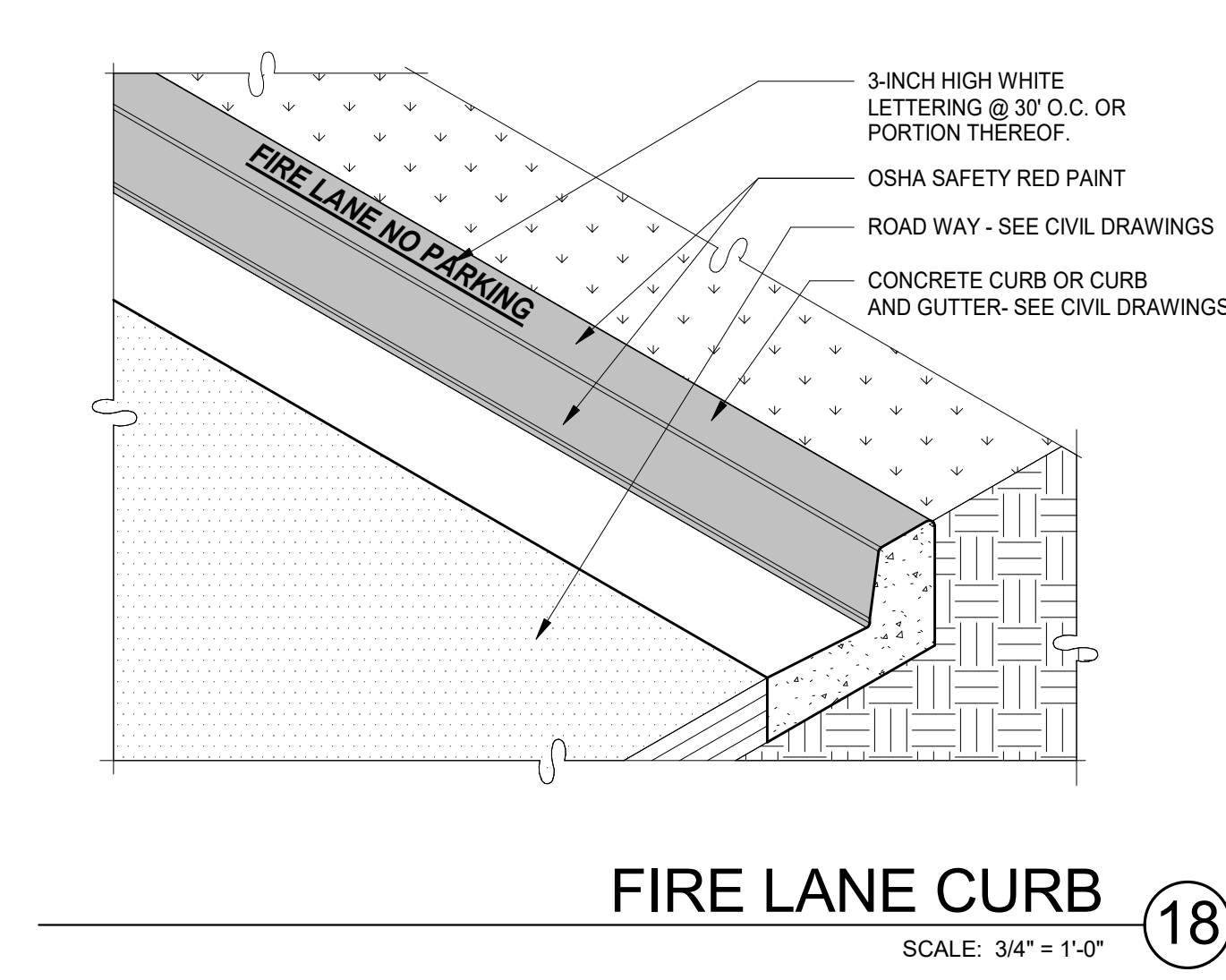
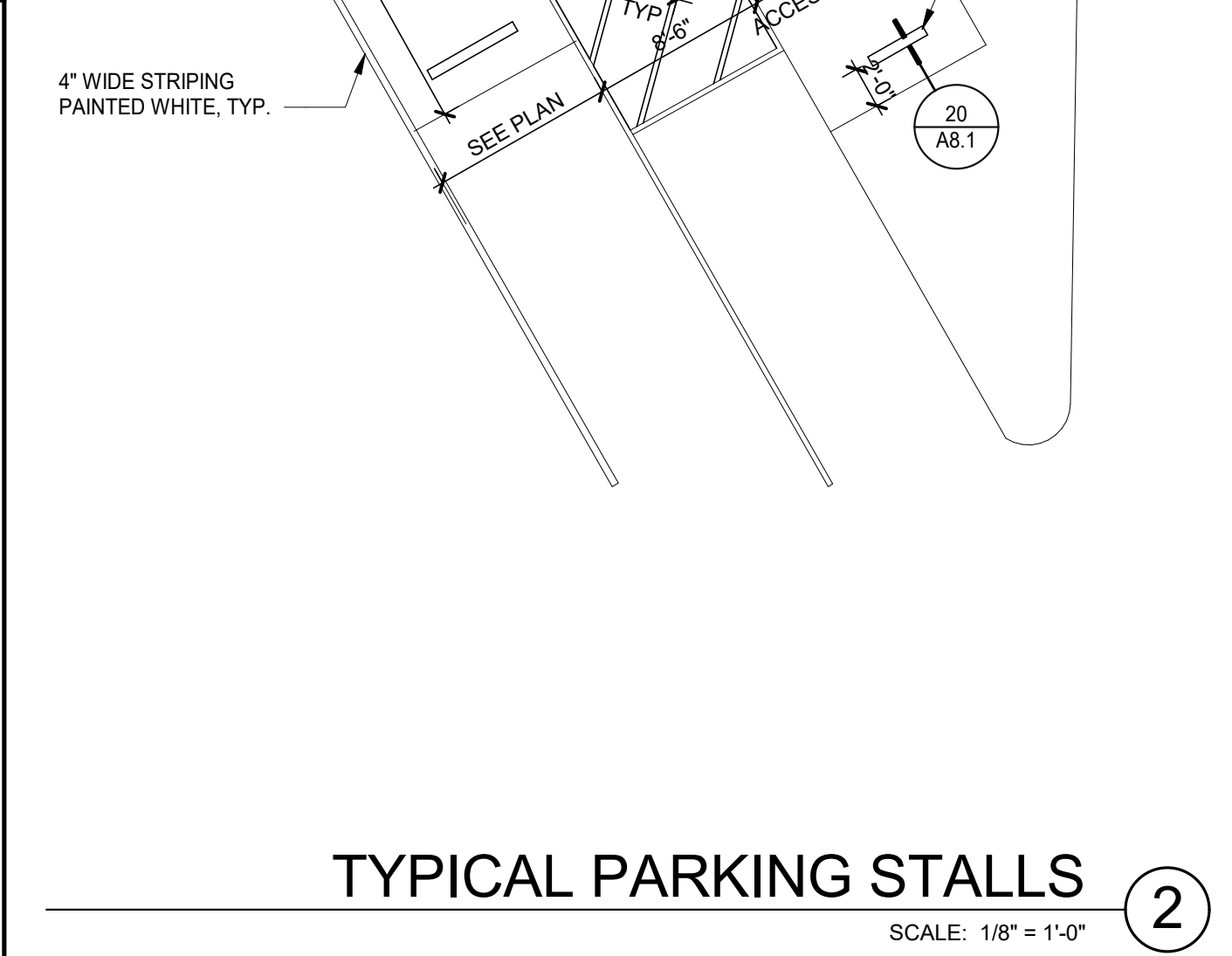
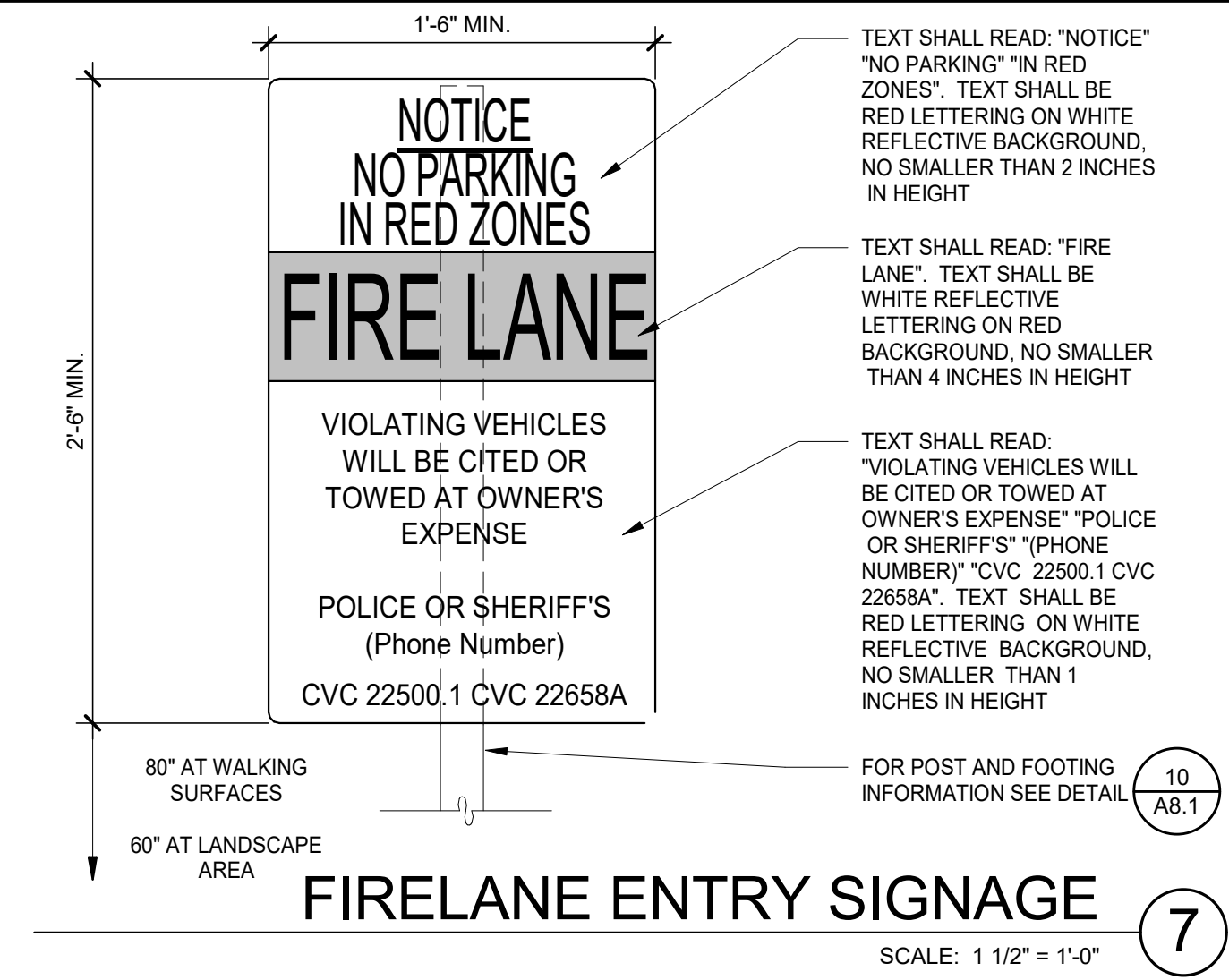
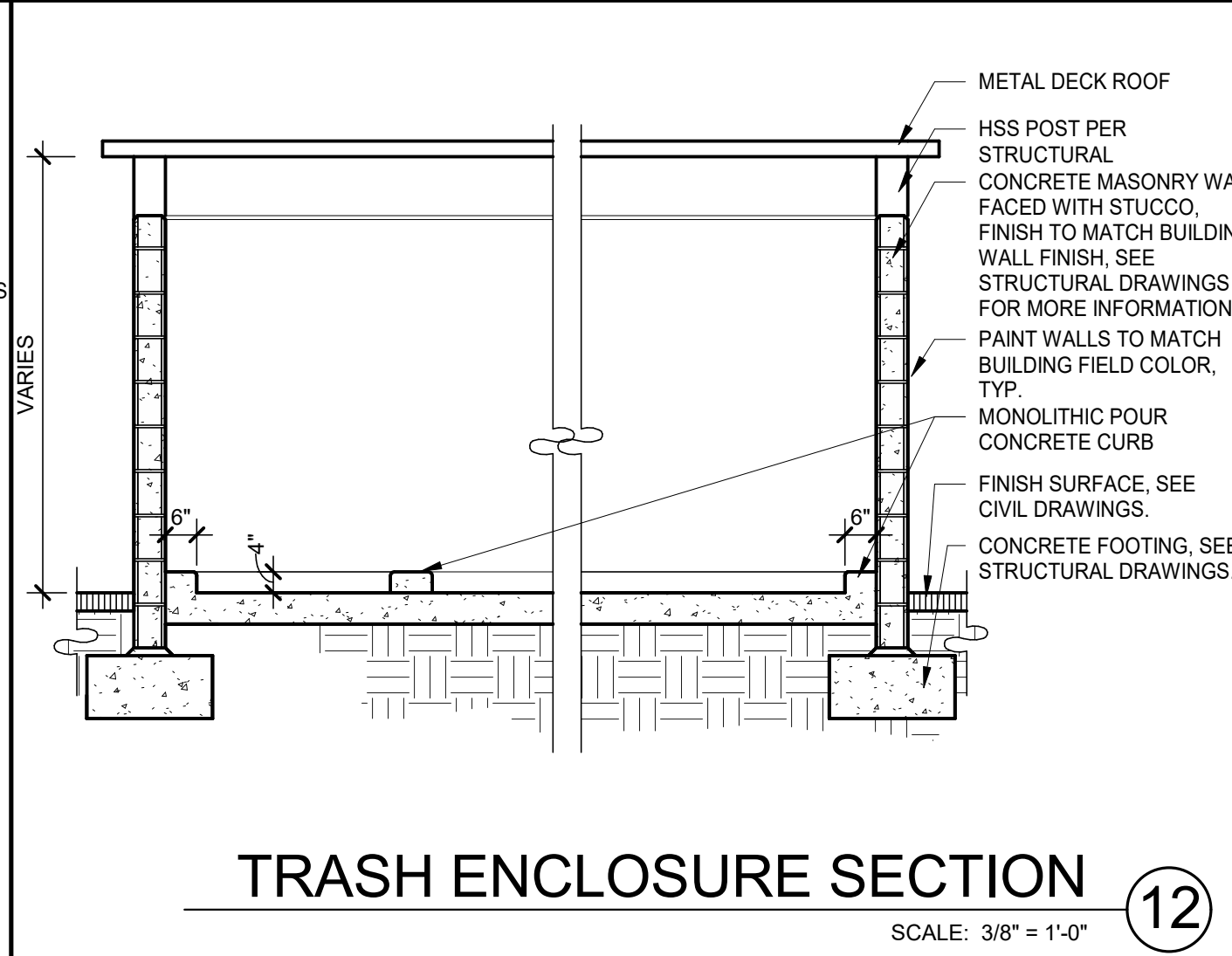
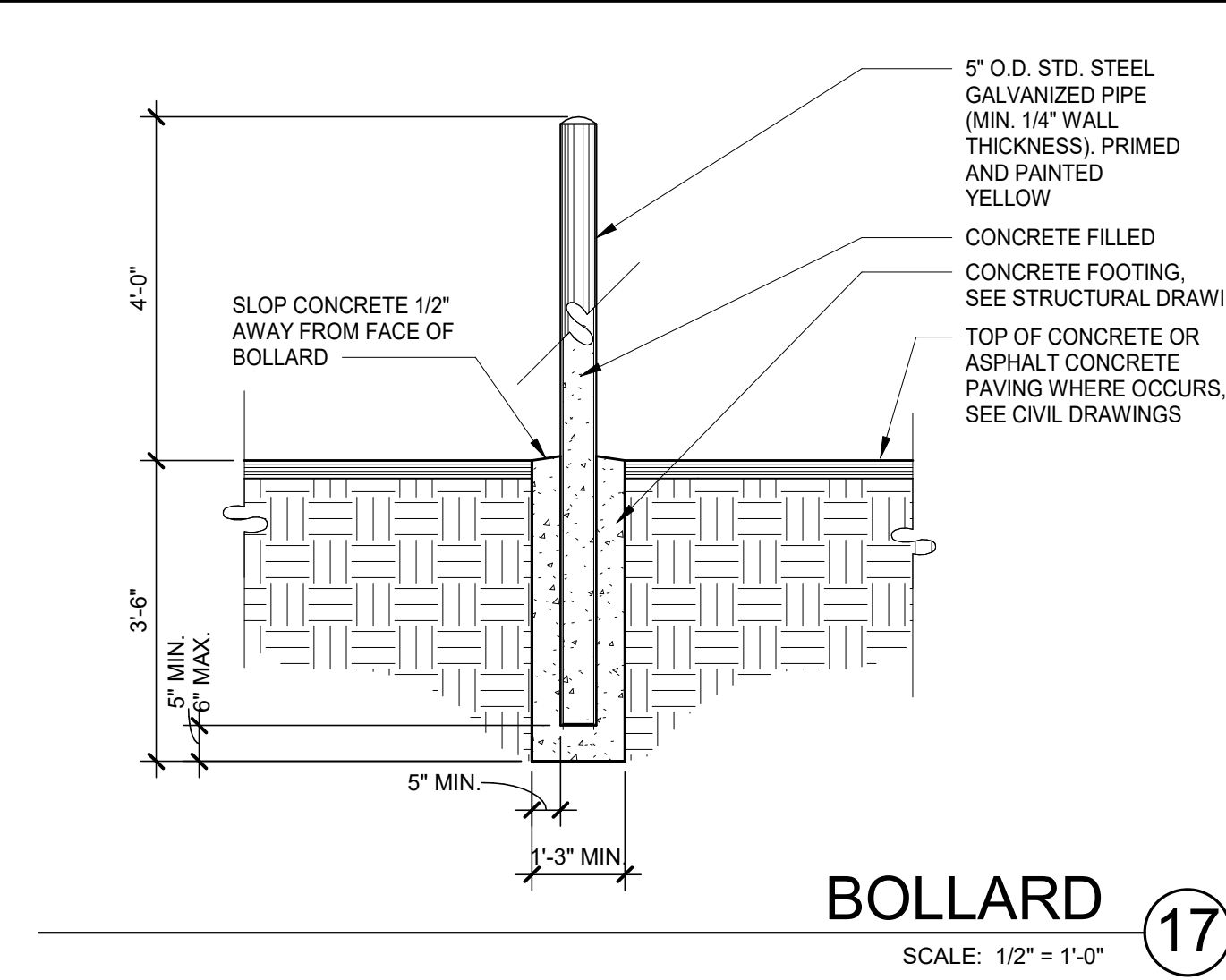
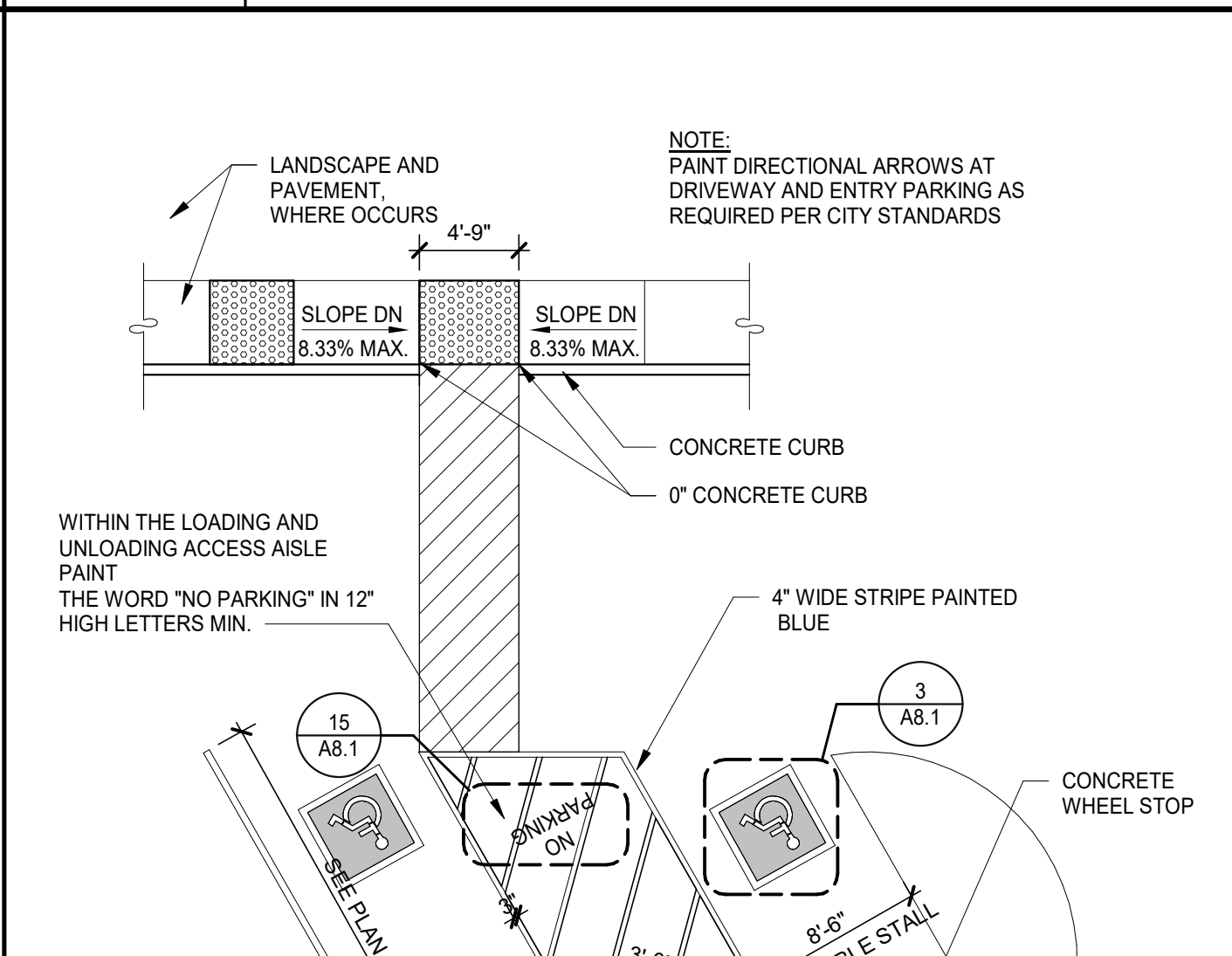
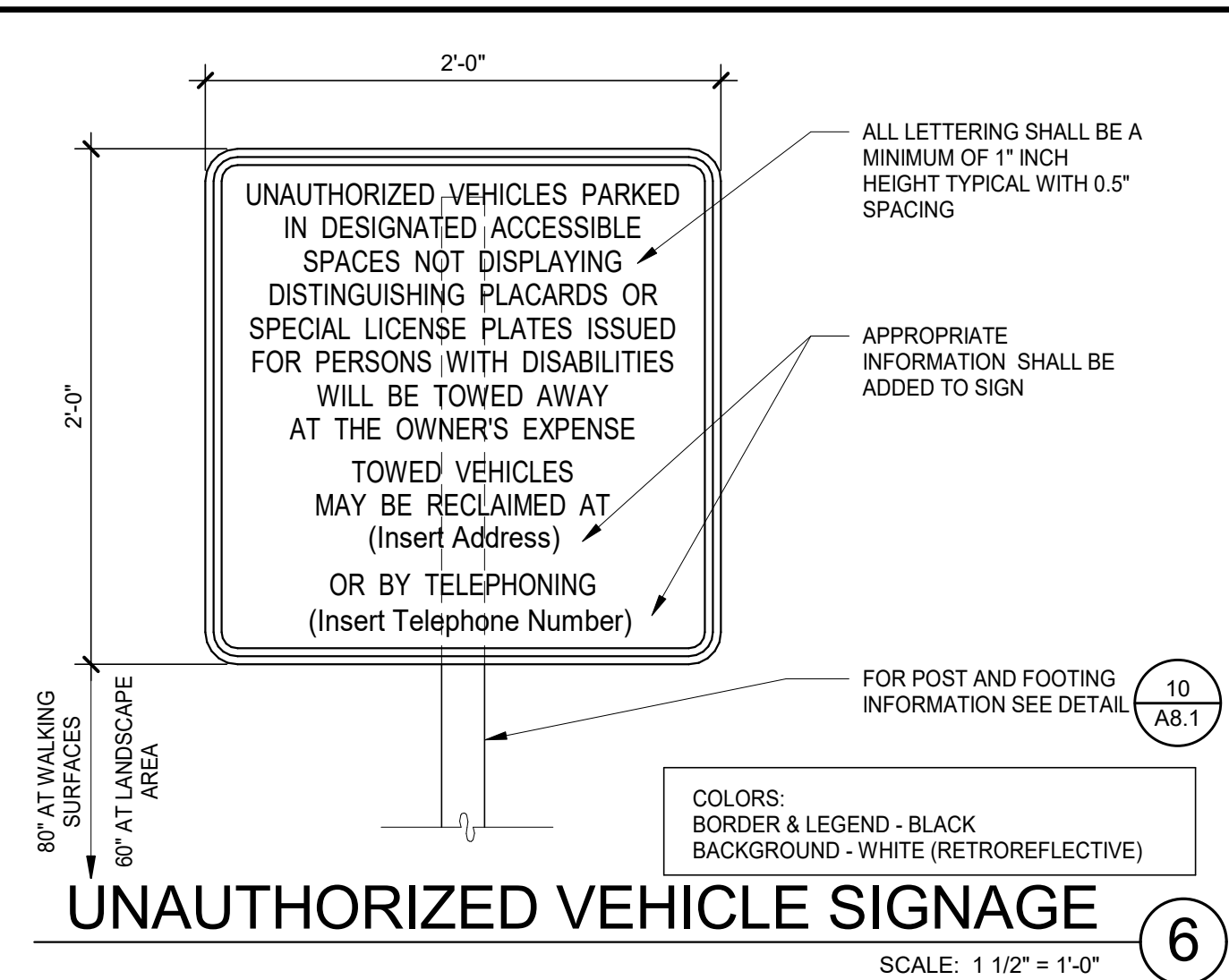
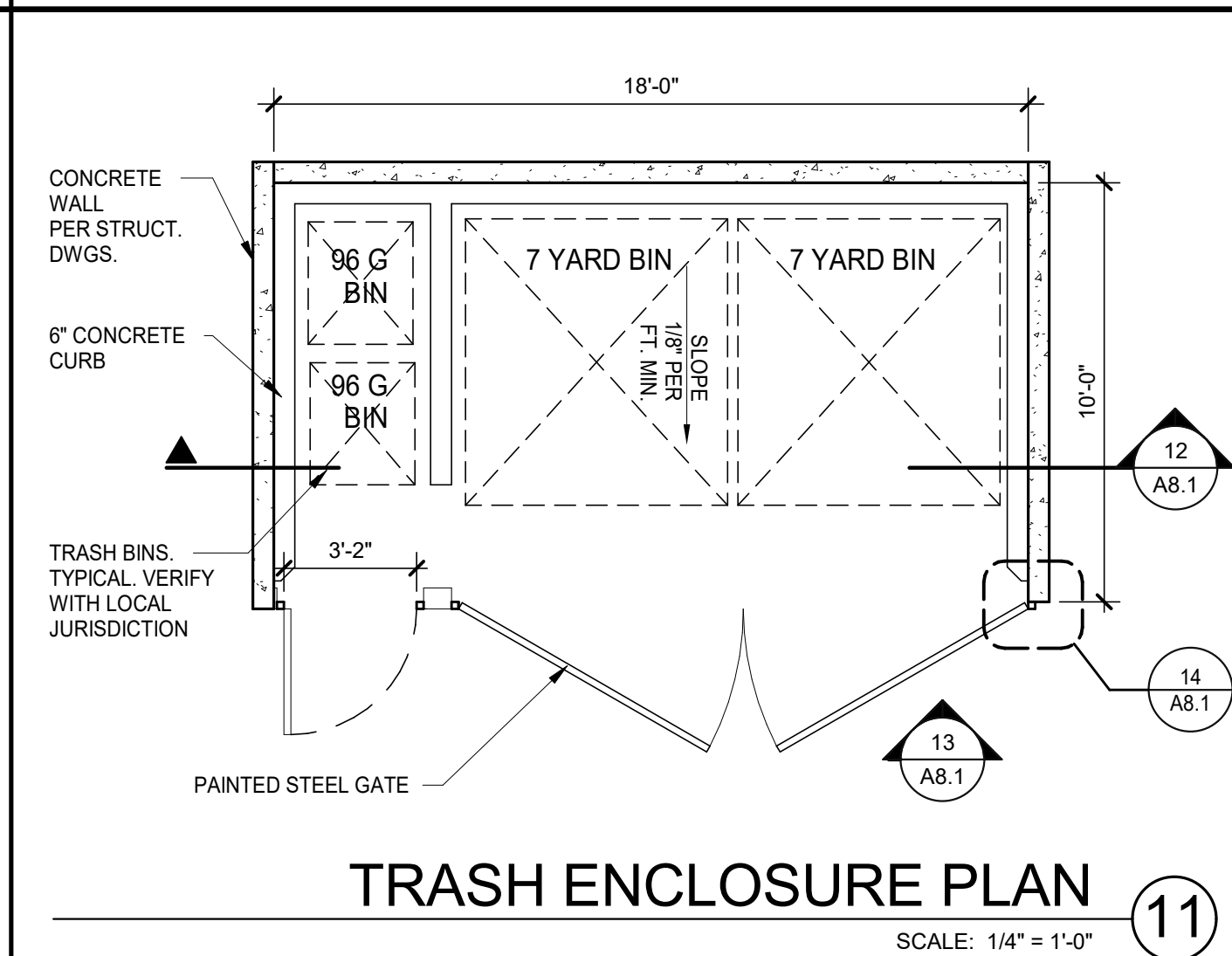
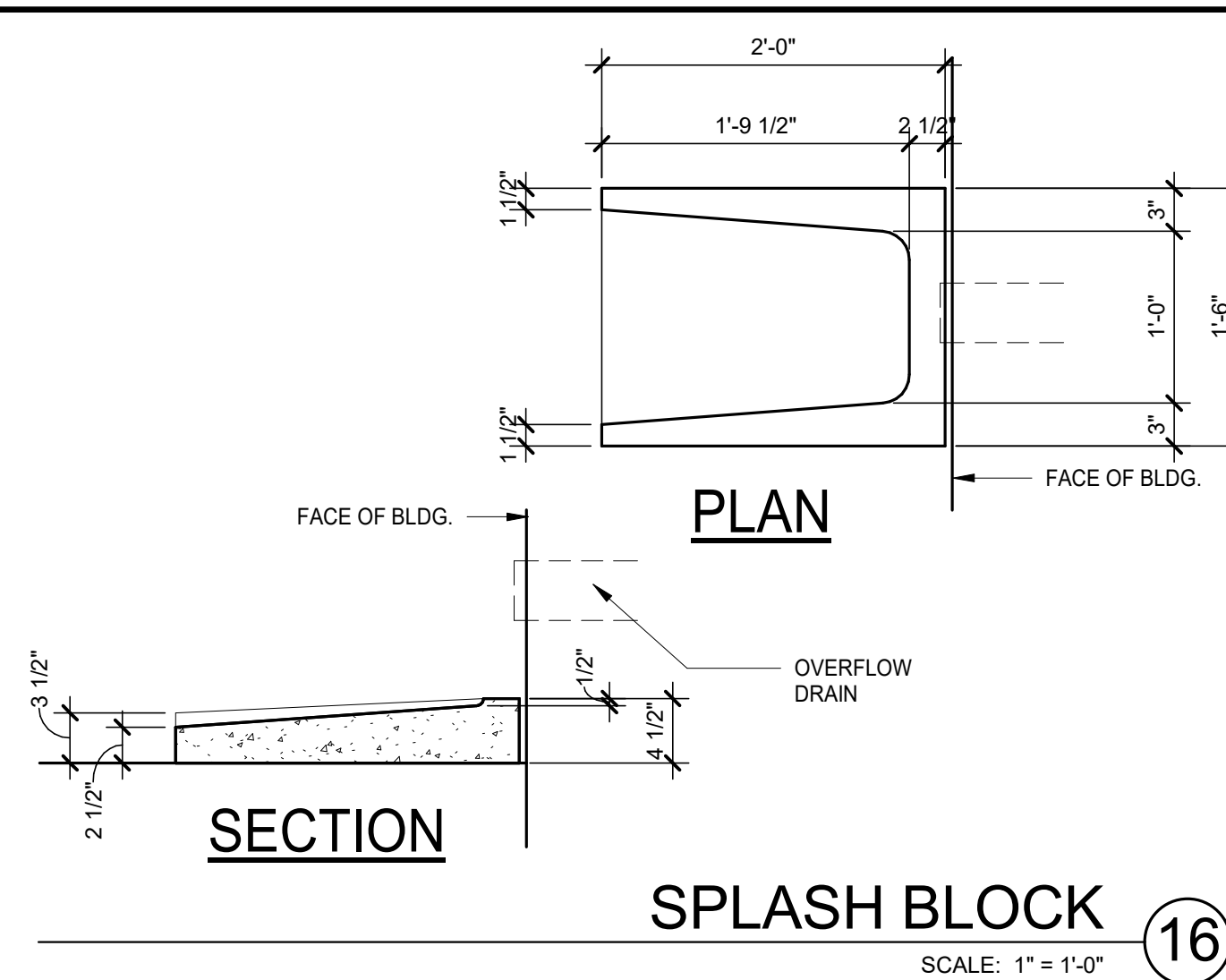
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**GRANADA SHOPPING
CENTER**
1951 HOLMES STREET
LIVERMORE, CALIFORNIA 94550

EXTERIOR ELEVATIONS	
DATE	REMARKS
02.12.2021	CUP MODIFICATIONS/SUBMITAL

PA/PM:	
DRAWN BY:	A.K.
JOB NO.:	SNR18-0053-00

SHEET
A4.1



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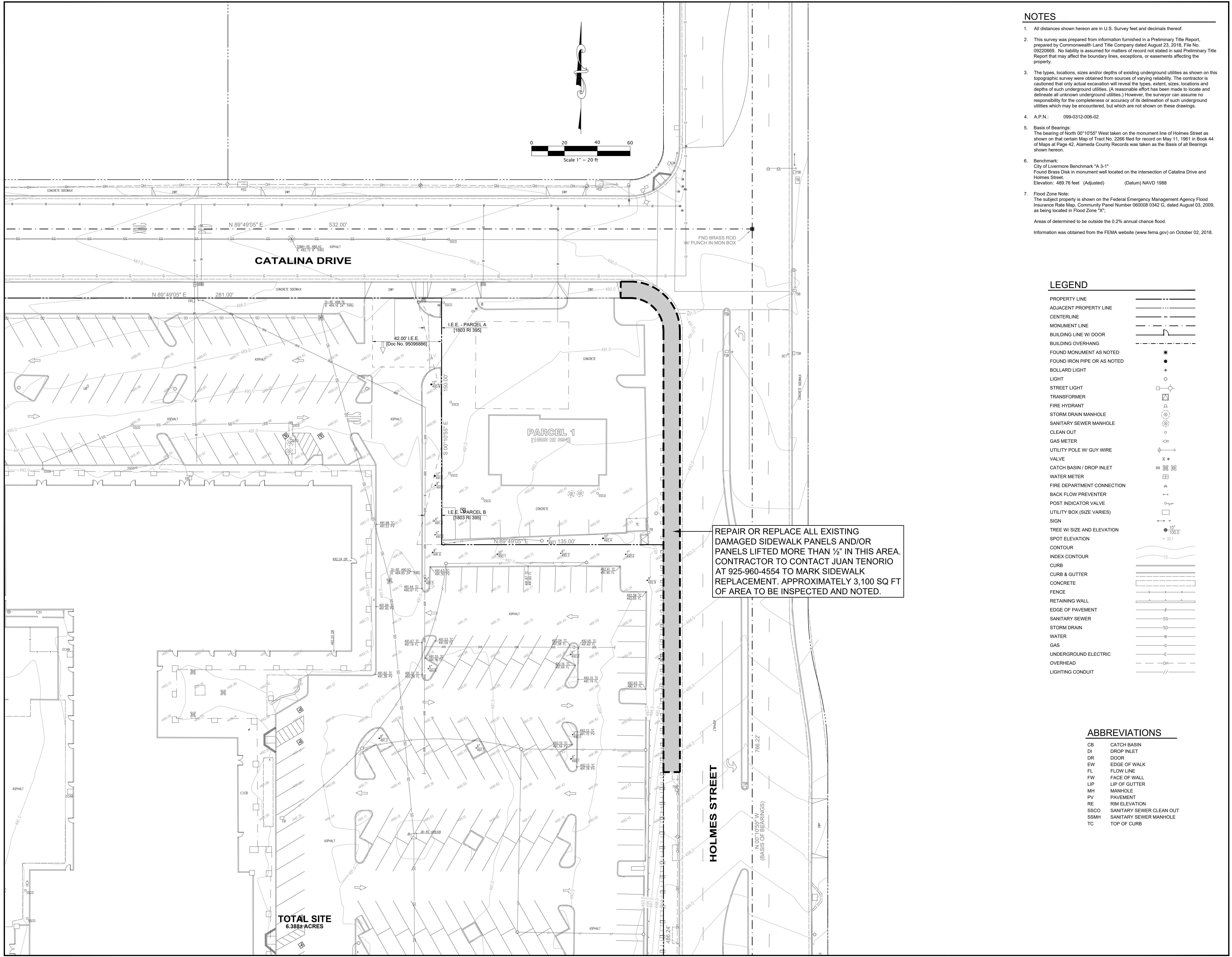
CURRENTLY APPROVED SITE DETAILS

DATE	CUP MODIFICATIONS/SUBMITTAL	REMARKS
09.12.2021		

PA/PM:
DRAWN BY: A.K.
JOB NO.: SNR18-0053-00

SHEET
A8.1

2/16/2021 4:27:19 PM



- NOTES**
- All distances shown hereon are in U.S. Survey feet and decimals thereof.
 - This survey was prepared from information furnished in a Preliminary Title Report, prepared by Commonwealth Land Title Company dated August 23, 2016, File No. 09220669. No liability is assumed for matters of record not stated in said Preliminary Title Report that may affect the boundary lines, exceptions, or easements affecting the property.
 - The types, locations, sizes and/or depths of existing underground utilities as shown on this topographic survey were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations and depths of such underground utilities. (A reasonable effort has been made to locate and delineate all unknown underground utilities.) However, the surveyor can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered, but which are not shown on these drawings.
 - A.P.N.: 099-0312-006-02
 - Basis of Bearings:**
The bearing of North 00°10'55" West taken on the monument line of Holmes Street as shown on that certain Map of Tract No. 2266 filed for record on May 11, 1961 in Book 44 of Maps at Page 42, Alameda County Records was taken as the Basis of all Bearings shown hereon.
 - Benchmark:**
City of Livermore Benchmark "A 3-1"
Found Brass Disk in monument well located on the intersection of Catalina Drive and Holmes Street.
Elevation: 489.76 feet (Adjusted) (Datum) NAVD 1988
 - Flood Zone Note:**
The subject property is shown on the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel Number 060008 0342 G, dated August 03, 2009, as being located in Flood Zone "X".
Areas of determined to be outside the 0.2% annual chance flood.
Information was obtained from the FEMA website (www.fema.gov) on October 02, 2018.

LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
CENTERLINE	---
MONUMENT LINE	---
BUILDING LINE W/ DOOR	---
BUILDING OVERHANG	---
FOUND MONUMENT AS NOTED	●
FOUND IRON PIPE OR AS NOTED	●
BOLLARD LIGHT	○
LIGHT	○
STREET LIGHT	○
TRANSFORMER	⊠
FIRE HYDRANT	⊠
STORM DRAIN MANHOLE	⊠
SANITARY SEWER MANHOLE	⊠
CLEAN OUT	⊠
GAS METER	⊠
UTILITY POLE W/ GUY WIRE	⊠
VALVE	⊠
CATCH BASIN / DROP INLET	⊠
WATER METER	⊠
FIRE DEPARTMENT CONNECTION	⊠
BACK FLOW PREVENTER	⊠
POST INDICATOR VALVE	⊠
UTILITY BOX (SIZE VARIES)	⊠
SIGN	⊠
TREE W/ SIZE AND ELEVATION	○
SPOT ELEVATION	○
CONTOUR	---
INDEX CONTOUR	---
CURB	---
CURB & GUTTER	---
CONCRETE	---
FENCE	---
RETAINING WALL	---
EDGE OF PAVEMENT	---
SANITARY SEWER	---
STORM DRAIN	---
WATER	---
GAS	---
UNDERGROUND ELECTRIC	---
OVERHEAD	---
LIGHTING CONDUIT	---

REPAIR OR REPLACE ALL EXISTING DAMAGED SIDEWALK PANELS AND/OR PANELS LIFTED MORE THAN 1/2" IN THIS AREA. CONTRACTOR TO CONTACT JUAN TENORIO AT 925-960-4554 TO MARK SIDEWALK REPLACEMENT. APPROXIMATELY 3,100 SQ FT OF AREA TO BE INSPECTED AND NOTED.

ABBREVIATIONS

CB	CATCH BASIN
DI	DROP INLET
DR	DOOR
EW	EDGE OF WALK
FL	FLOW LINE
FW	FACE OF WALL
LIP	LIP OF GUTTER
MH	MANHOLE
PV	PAVEMENT
RE	RIM ELEVATION
SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB

TOTAL SITE
6.388± ACRES

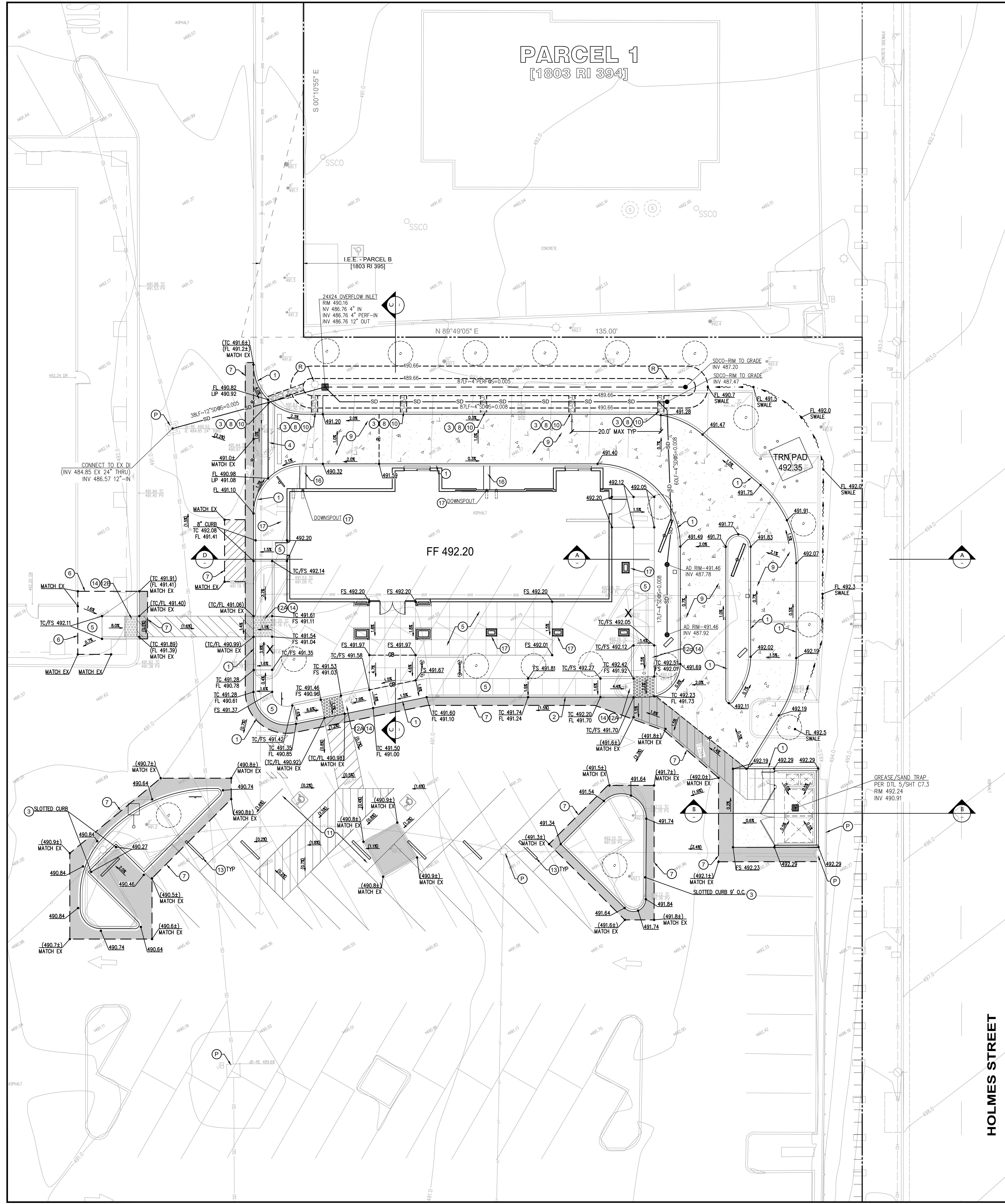
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 LIVERMORE, CALIFORNIA 94550

DATE	REMARKS	DATE	REMARKS
01-07-2021	CIP MODIFICATIONS SUBMITTAL		

TOPOGRAPHIC SURVEY
 PA / PM:
 DRAWN BY:
 JOB NO.: SNR18-0053-00
 SHEET
C2.0

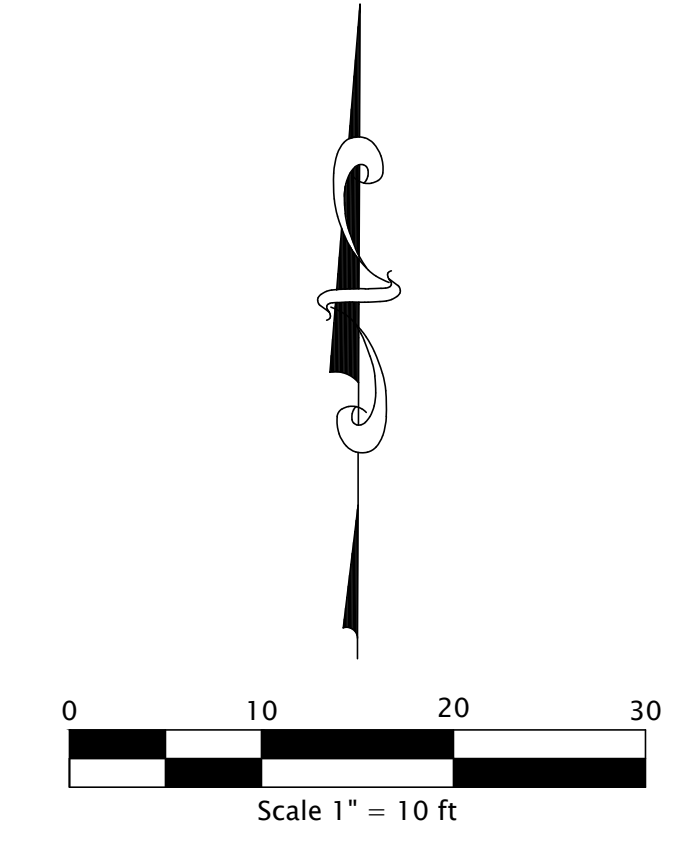


LEGEND

DEFINITION	NEW	EXISTING
PROPERTY LINE	---	---
ADJACENT PROPERTY LINE	---	---
CENTERLINE	---	---
EASEMENT	---	---
BUILDING LINE	---	---
ELECTROLIER	⊕	⊕
TRANSFORMER	⊕	⊕
FIRE HYDRANT	⊕	⊕
MANHOLE	⊕	⊕
GAS METER	⊕	⊕
VALVE	⊕	⊕
SANITARY SEWER MANHOLE	⊕	⊕
STORM DRAIN MANHOLE	⊕	⊕
CATCH BASIN	⊕	⊕
CLEAN OUT	⊕	⊕
WATER METER	⊕	⊕
FIRE DEPARTMENT CONNECTION	⊕	⊕
BACK FLOW PREVENTER	⊕	⊕
POST INDICATOR VALVE	⊕	⊕
SIGN	⊕	⊕
TREE	⊕	⊕
SPOT ELEVATION	100.00	100.00
AERIAL SPOT ELEVATION	100.00	100.00
CONTOUR	---	---
INDEX CONTOUR	---	---
RIDGE	---	---
CURB	---	---
CURB & GUTTER	---	---
NEW AC PAVEMENT	---	---
AC OVERLAY	---	---
CONCRETE	---	---
RETAINING WALL	---	---
EDGE OF PAVEMENT	---	---
SANITARY SEWER	---	---
STORM DRAIN	---	---
WATER	---	---
FIRE SERVICE	---	---
IRRIGATION	---	---
GAS	---	---
UNDERGROUND ELECTRIC	---	---

ABBREVIATIONS

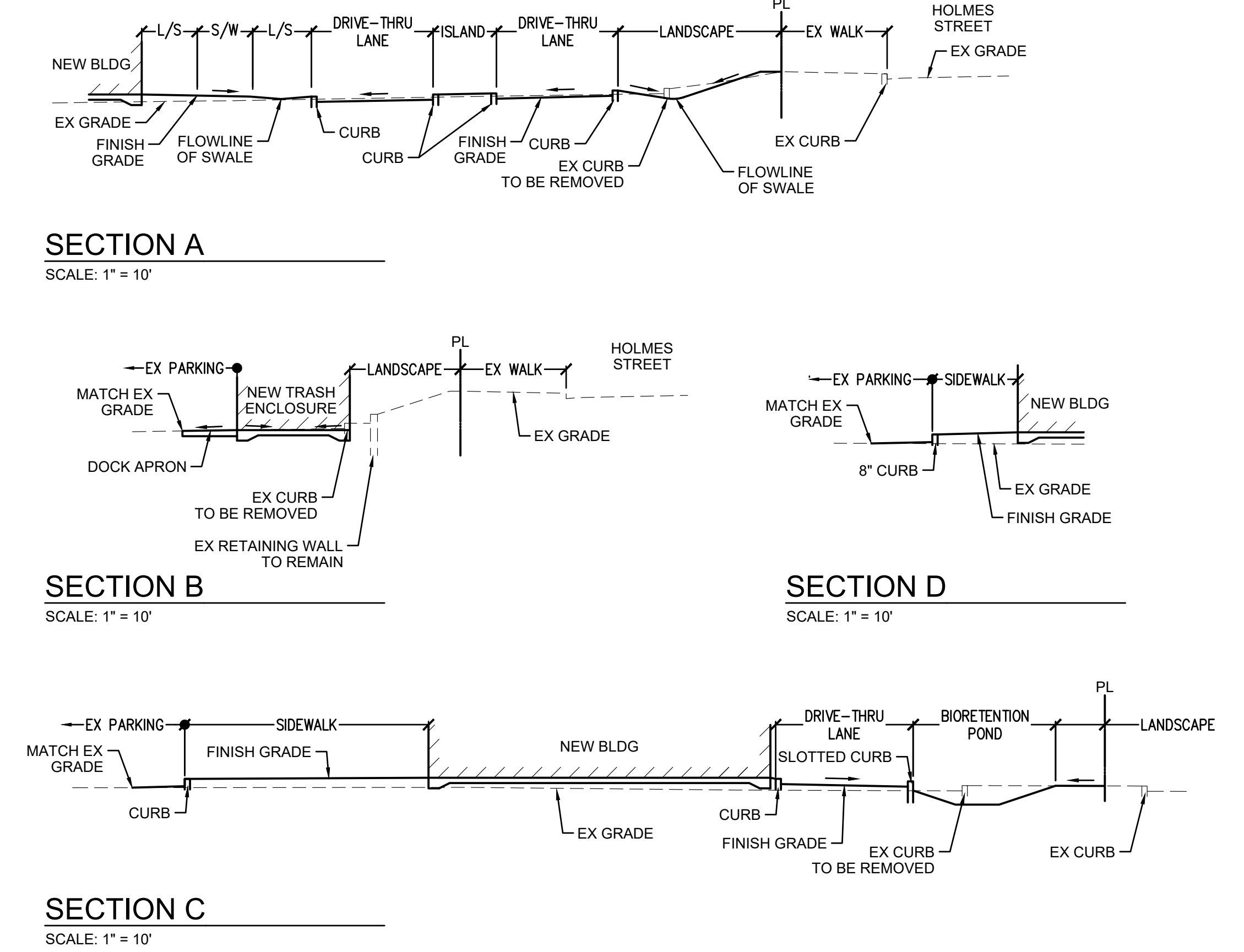
BTM	BOTTOM
EX	EXISTING
FF	FINISH FLOOR
FL	FLOW LINE
FS	FINISH SURFACE
LP	LOW POINT
MAX	MAXIMUM
MIN	MINIMUM
RIM	RIM ELEVATION
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TG	TO GRADE
TOP	TOP OF SLOPE



CONSTRUCTION NOTES

- CONSTRUCT CONCRETE CURB
- CONCRETE CURB & GUTTER
- CONCRETE CONCRETE SLOTTED CURB & GUTTER
- CONSTRUCT SLOTTED KEYED CURB
- CONSTRUCT 36" CONCRETE VALLEY GUTTER
- CONSTRUCT CONCRETE SIDEWALK
- CONNECT TO EXISTING SIDEWALK
- CONFORM TO PAVEMENT
- CONSTRUCT RIP RAP AT OPENINGS
- CONSTRUCT CONCRETE PAVING
- CONSTRUCT SLOTTED CONCRETE RETAINING CURB
- RESTRIPE ACCESSIBLE STALLS
- CURB RAMP TYPE A
- CURB RAMP TYPE B
- CURB RAMP TYPE C
- CONSTRUCT TRUNCATED DOMES
- CONSTRUCT WHEEL STOP
- CONSTRUCT 18" CONCRETE TROUGH.
- CONSTRUCT SPLASH BLOCK AT NEW DOWNSPOUT AND DIRECT TO ADJACENT LANDSCAPE AREAS.
- EXISTING STRUCTURE OR UTILITY TO BE REMOVED
- EXISTING STRUCTURE OR UTILITY TO BE PROTECTED AND ADJUST RIM TO GRADE.

NOTE:
ALL GRADES SHOWN ARE FLOW LINE
UNLESS OTHERWISE NOTED



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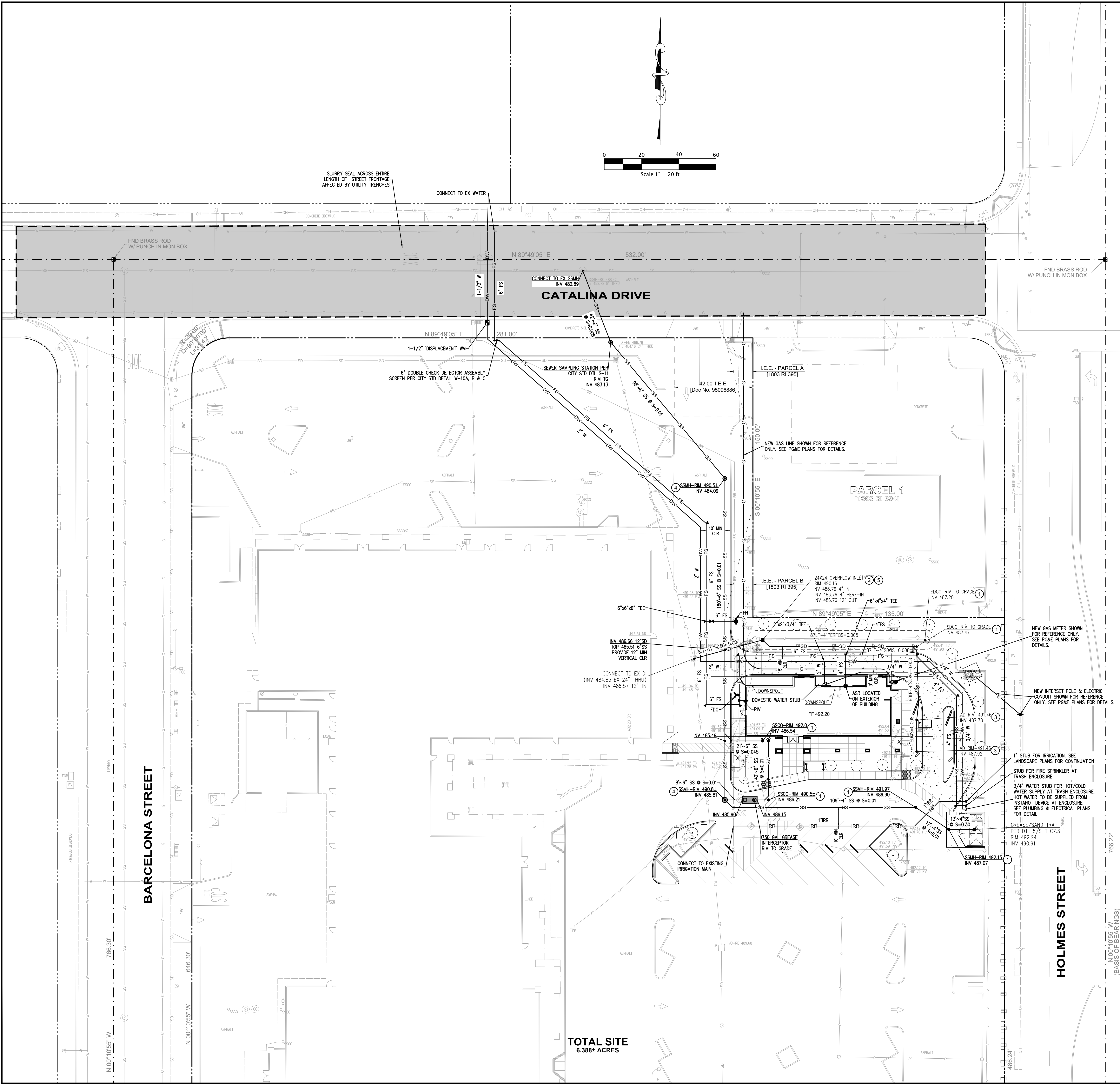
PRELIMINARY GRADING & DRAINAGE PLAN

DATE	REVISIONS	DATE	REVISIONS
01-07-2021	CIP MODIFICATIONS SUBMITTAL		

PA / PM:	
DRAWN BY:	
JOB NO.:	SNR18-0053-00

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LEGEND

DEFINITION	NEW	EXISTING
PROPERTY LINE	---	---
ADJACENT PROPERTY LINE	---	---
CENTERLINE	---	---
EASEMENT	---	---
BUILDING LINE	---	---
ELECTROLIER	⊕	⊕
TRANSFORMER	⊕	⊕
FIRE HYDRANT	⊕	⊕
MANHOLE	⊕	⊕
GAS METER	⊕	⊕
VALVE	⊕	⊕
SANITARY SEWER MANHOLE	⊕	⊕
STORM DRAIN MANHOLE	⊕	⊕
CATCH BASIN	⊕	⊕
CLEAN OUT	⊕	⊕
WATER METER	⊕	⊕
FIRE DEPARTMENT CONNECTION	⊕	⊕
BACK FLOW PREVENTER	⊕	⊕
POST INDICATOR VALVE	⊕	⊕
SIGN	⊕	⊕
TREE	⊕	⊕
SPOT ELEVATION	100.00	100.00
CURB	---	---
CURB & GUTTER	---	---
RETAINING WALL	---	---
EDGE OF PAVEMENT	---	---
SANITARY SEWER	SS	SS
STORM DRAIN	SD	SD
DOMESTIC WATER	DW	DW
FIRE SERVICE	FS	FS
IRRIGATION	IRR	IRR
GAS	G	G
UNDERGROUND ELECTRIC	E	E

ABBREVIATIONS

BTM	BOTTOM
EX	EXISTING
FF	FINISH FLOOR
FL	FLOW LINE
FS	FINISH SURFACE
LP	LOW POINT
MAX	MAXIMUM
MIN	MINIMUM
RIM	RIM ELEVATION
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TG	TO GRADE
TOP	TOP OF SLOPE

CONSTRUCTION NOTES

1	CONSTRUCT CLEANOUT
2	CONSTRUCT DRAIN INLET
3	CONSTRUCT AREA DRAIN
4	CONSTRUCT MANHOLE
5	INSTALL UNITED STORMWATER MODEL USW-1M TRASH CAPTURE DEVICE

TOTAL SITE
6.388± ACRES



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PRELIMINARY UTILITY PLAN

DATE	REVISIONS	DATE	REVISIONS
01-07-2021	CIP MODIFICATIONS SUBMITTAL		

PA / PM: _____
DRAWN BY: _____
JOB NO.: SNR18-0053-00

SHEET
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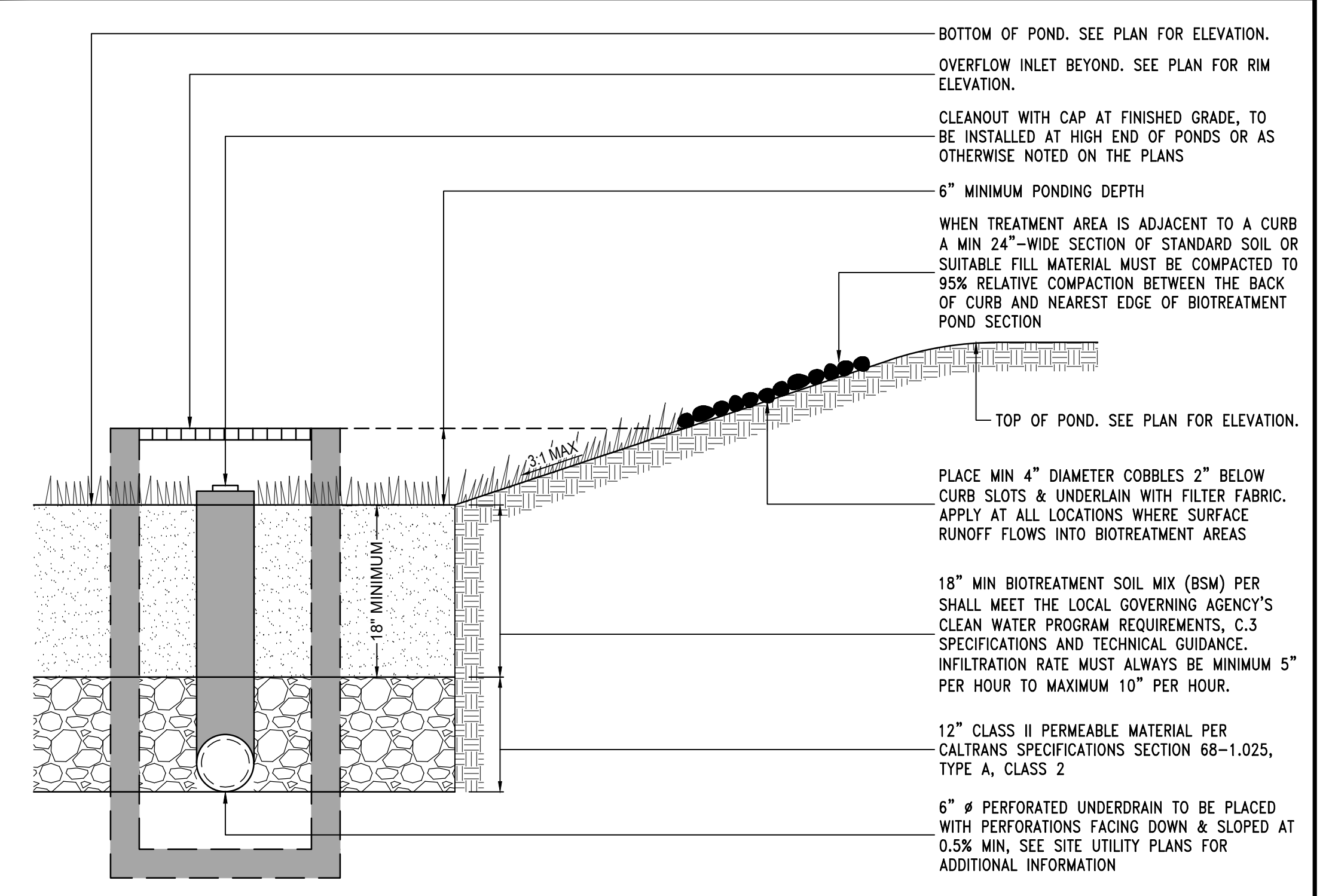
PRELIMINARY STORMWATER MANAGEMENT PLAN

DATE	REVISIONS	DATE	REVISIONS
01-07-2021	CIP MODIFICATIONS SUBMITTAL		

PA / PM:
DRAWN BY:
JOB NO.: SNR18-0053-00

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BIORETENTION AREA HALF-SECTION

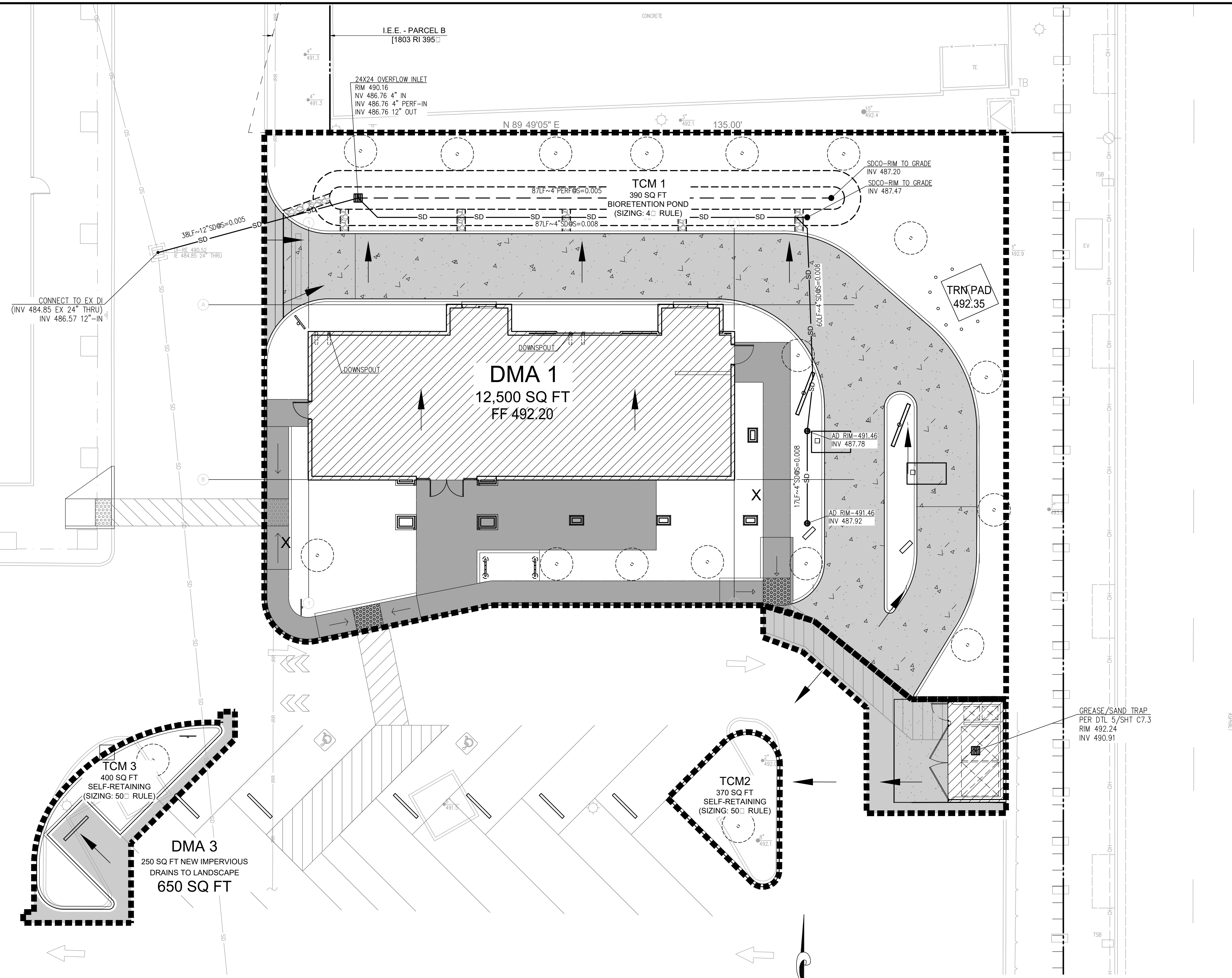


SOURCE CONTROL MEASURES

- STORM DRAIN SIGNAGE:**
- ALL CATCH BASINS TO BE STENCILED WITH PMAK ON-SITE INLETS WITH THE WORDS NO DUMPING! FLOWS TO BAY OR EQUIVALENT. PER CITY STANDARDS.
- INTERIOR FLOOR DRAINS:**
- PLUMB INTERIOR FLOOR DRAINS TO SANITARY SEWER.
- LANDSCAPE:**
- RETAIN EXISTING VEGETATION AS PRACTICABLE.
 - SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PESTAND/ OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS.
 - MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
 - USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUNOFF.
- FOOD SERVICE EQUIPMENT:**
- PROVIDE SINK OR OTHER AREA FOR EQUIPMENT CLEANING, WHICH IS:
 - CONNECTED TO A GREASE INTERCEPTOR PRIOR TO SANITARY SEWER DISCHARGE.
 - LARGE ENOUGH FOR THE LARGEST MAT OR PIECE OF EQUIPMENT TO BE CLEANED.
 - INDOORS OR IN AN OUTDOOR ROOFED AREA DESIGNED TO PREVENT STORMWATER RUN-ON
 - AND RUN-OFF, AND SIGNED TO REQUIRE EQUIPMENT WASHING IN THIS AREA.
- REFUSE AREAS:**
- PROVIDE A ROOFED AND ENCLOSED AREA FOR DUMPSTERS, RECYCLING CONTAINERS, ETC., DESIGNED TO PREVENT STORMWATER RUN-ON AND RUNOFF.
 - CONNECT ANY DRAINS IN OR BENEATH DUMPSTERS, COMPACTORS, AND TALLOW BIN AREAS SERVING FOOD SERVICE FACILITIES TO THE SANITARY SEWER.
- FIRE SPRINKLERS:**
- DESIGN FOR DISCHARGE OF FIRE SPRINKLER TEST WATER TO LANDSCAPE OR SANITARY SEWER.
- MISCELLANEOUS DRAIN OR WASH WATER:**
- DRAIN CONDENSATE OF AIR CONDITIONING UNITS TO LANDSCAPING. LARGE AIR CONDITIONING UNITS MAY CONNECT TO THE SANITARY SEWER.
 - ROOF DRAINS SHALL DRAIN TO UNPAVED AREA WHERE PRACTICABLE.
 - DRAIN BOILER DRAIN LINES, ROOF TOP EQUIPMENT, ALL WASHWATER TO SANITARY SEWER.

BIOTREATMENT AREA MAINTENANCE

INSPECTION ACTIVITIES	SUGGESTED FREQUENCY
INSPECT AFTER SEEDING AND AFTER FIRST MAJOR STORMS FOR ANY DAMAGES.	POST-CONSTRUCTION
INSPECT FOR SIGNS OF EROSION, DAMAGE TO VEGETATION, CHANNELIZATION OF FLOW, DEBRIS AND LITTER, AND AREAS OF SEDIMENT ACCUMULATION. PERFORM INSPECTIONS AT THE BEGINNING AND END OF THE WET SEASON. ADDITIONAL INSPECTIONS AFTER PERIODS OF HEAVY RUNOFF ARE DESIRABLE.	SEMI-ANNUAL
INSPECT BASIN ONCE DURING THE WET SEASON AFTER A LARGE RAIN EVENT TO CONFIRM THE FACILITY IS DRAINING WITHIN 72 HOURS. IF FACILITY FAILS TO DRAIN WITHIN TIMEFRAME, REMOVE & REPLACE TOP 2" OF FILTER MEDIA.	SEMI-ANNUAL
MAINTENANCE ACTIVITIES	SUGGESTED FREQUENCY
MOW GRASS TO MAINTAIN A HEIGHT OF 3-4 INCHES, FOR SAFETY, AESTHETIC, OR OTHER PURPOSES. LITTER SHOULD ALWAYS BE REMOVED PRIOR TO MOWING. CLIPPINGS SHOULD BE COMPOSTED.	AS NEEDED (FREQUENT, SEASONALLY)
IRRIGATE DURING DRY SEASON (APRIL THROUGH OCTOBER) OR WHEN NECESSARY TO MAINTAIN THE VEGETATION.	
PROVIDE WEED CONTROL, IF NECESSARY TO CONTROL INVASIVE SPECIES.	
REMOVE LITTER, BRANCHES, ROCKS BLOCKAGES AND OTHER DEBRIS AND DISPOSE OF PROPERLY.	SEMI-ANNUAL
REPAIR ANY DAMAGED AREAS IDENTIFIED DURING INSPECTIONS. EROSION RILLS OR GULLIES SHOULD BE CORRECTED AS NEEDED. BARE AREAS SHOULD BE REPLANTED AS NECESSARY.	
CORRECT EROSION PROBLEMS IN THE SAND/SOIL BED.	AS NEEDED
PLANT AN ALTERNATIVE GRASS SPECIES IF THE ORIGINAL GRASS COVER HAS NOT BEEN SUCCESSFULLY ESTABLISHED.	ANNUAL (AS NEEDED)
RESEED AND APPLY MULCH TO DAMAGED AREAS. APPLY 1" TO 2" OF MULCH PREFERABLE IN JUNE AFTER WEEDING.	SEMI-ANNUAL
REMOVE ALL ACCUMULATED SEDIMENT THAT MAY OBSTRUCT THE PROPER OPERATION OF THE BIO TREATMENT POND. SEDIMENT SHOULD BE REMOVED WHEN IT BUILDS UP TO 3" AT ANY SPOT, OR COVERS VEGETATION, OR ONCE IT HAS ACCUMULATED TO 10% OF THE ORIGINAL DESIGN VOLUME. REPLACE THE GRASS AREAS DAMAGED IN THE PROCESS.	AS NEEDED (INFREQUENT)
ROTOTILL OR CULTIVATE SURFACE OF SAND/SOIL BED OF IF TREATMENT AREA DOESN'T DRAW DOWN WITHIN 48 HOURS.	AS NEEDED



LEGEND

- NEW SIDEWALK AREAS
- NEW PAVEMENT AREAS
- NEW BUILDING AREA

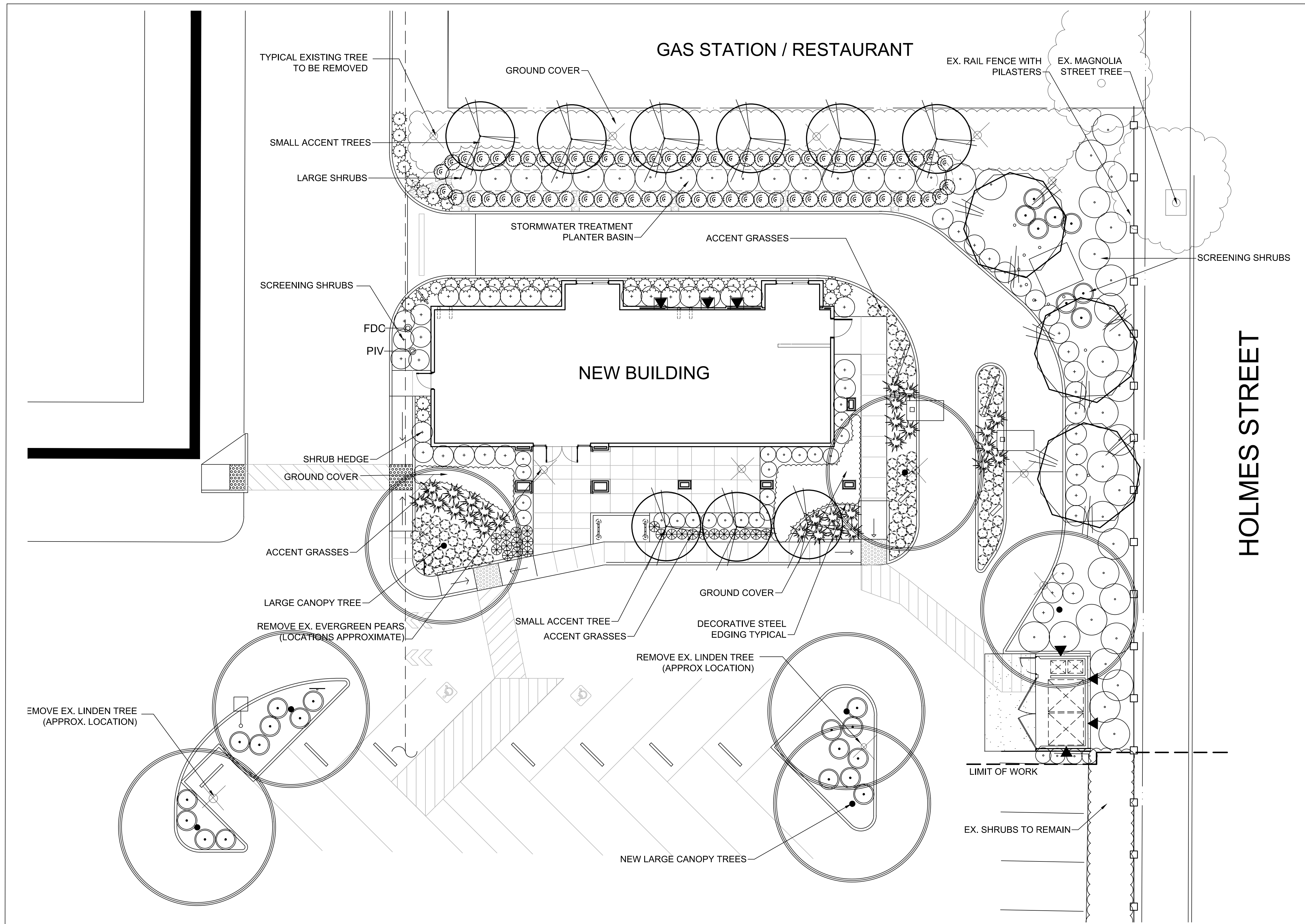
Scale 1" = 10 ft

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE

Project Phase Number:		N/A	
Total Site (acres)	6.388	Total Area of Site Disturbed (acres)	0.326
Existing Condition of Site Area Disturbed	Proposed Condition of Site Area Disturbed (square feet)		
	Replaced	New	
Impervious Surfaces			
Roof Area(s)	0	2,260	
Parking	10,825	3,760	
Sidewalks, Patios, Paths, etc	0	1,550	
Streets (Public)	0	0	
Streets (Private)	0	0	
Total Impervious Surfaces	10,825	3,810	
Pervious Surfaces			
Landscaped Areas	3,395	3,255	
Pervious Paving	0	0	
Other Pervious Surfaces (green roof, etc.)	0	0	
Total Pervious Surfaces:	3,395	3,255	
Total Proposed Replaced + New Impervious Surfaces:		7,570	
Total Proposed Replaced + New Pervious Surfaces:		6,650	

STORMWATER TREATMENT MEASURES SUMMARY

DRAINAGE MANAGEMENT AREAS	TREATMENT AREAS CONTROL MEASURES	PERVIOUS AREA (Sq.Ft.)	IMPERVIOUS AREA (Sq.Ft.)	TOTAL (Sq.Ft.)	REQUIRED BIO TREATMENT OR SELF-RETAINING LANDSCAPE AREAS(Sq.Ft.)	PROVIDED BIO TREATMENT OR SELF-RETAINING LANDSCAPE AREAS(Sq.Ft.)	TREATMENT TYPE	SIZING METHOD
DMA 1	1	5,880	6,620	12,500	288	390	BIO-RETENTION POND	4% RULE
DMA 2	2	370	700	1,070	350	370	SELF-RETAINING LANDSCAPE	50% RULE
DMA 3	3	400	250	650	125	370	SELF-RETAINING LANDSCAPE	50% RULE
SUB TOTAL		6,650	7,570	14,220				

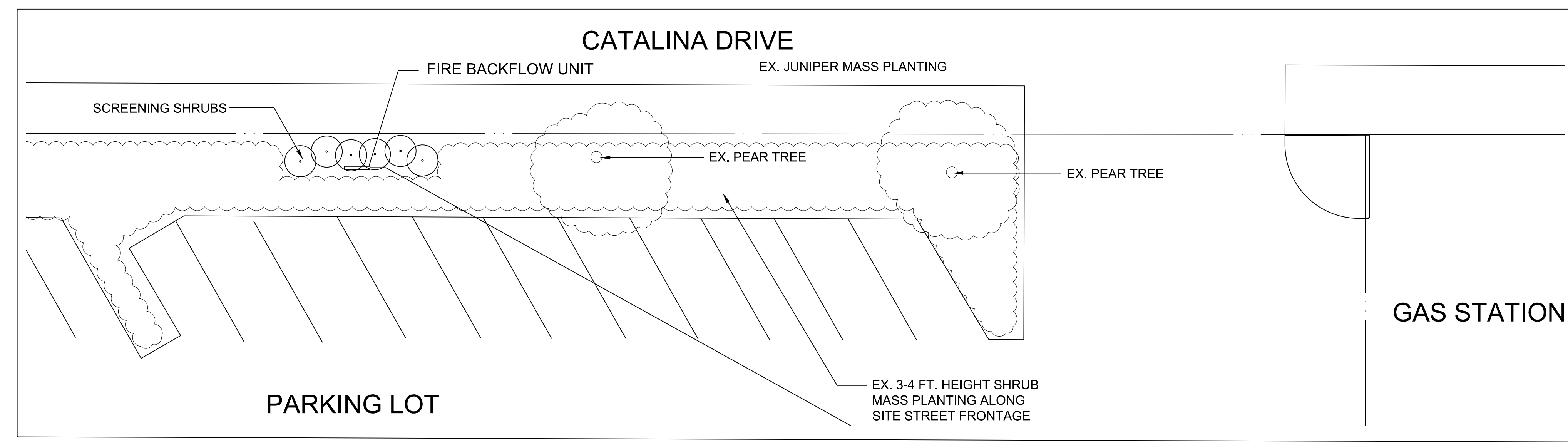


PLANT MATERIALS KEY

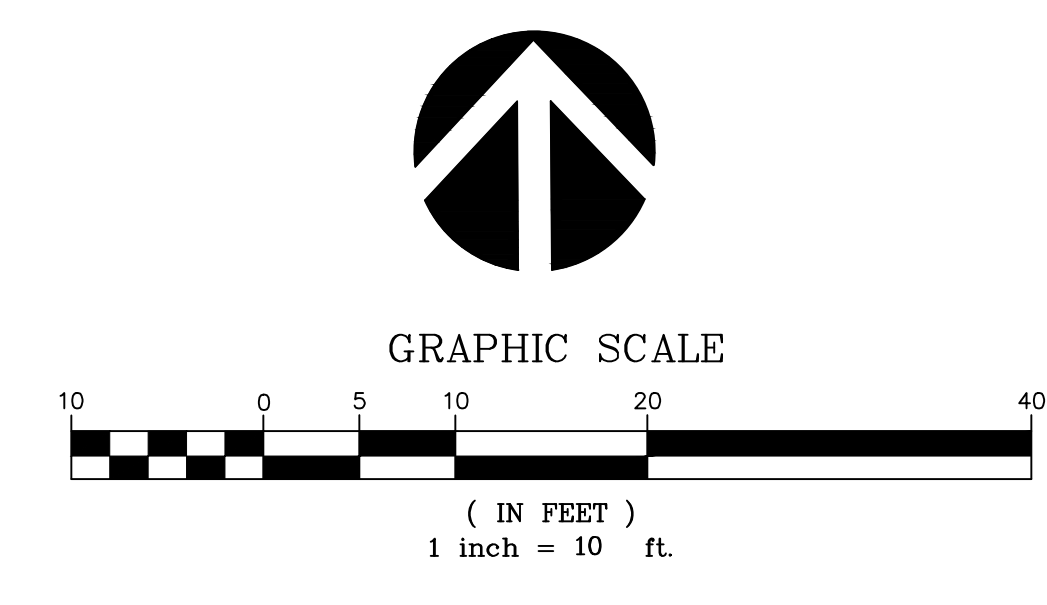
BOTANICAL NAME(COMMON NAME)	WATER USE	COUNT
TREES:		
LARGE CANOPY TREE (24" BOX SIZE):		
ULMUS PARVIFOLIA 'SHADEMASTER' (CHINESE ELM)	MED	8
LARGE ACCENT TREE (24" BOX SIZE):		
LAGERSTROMIA 'TUSCARORA' (GRAPE MYRTLE)	LOW	3
SMALL ACCENT TREE (24" BOX):		
CERCIS OCCIDENTALIS (WESTERN REDBUD STANDARD)	LOW	9
SHRUBS:		
SCREEN SHRUB (5 GALLON):		
HETEROMELES ARBUTIFOLIA (TOYON)	LOW	52
HEDGE SHRUBS (5 GALLON):		
TEUCRIUM F. 'COMPACTA' (BLUE GERMANDER)	LOW	51
MYRTUS C. 'COMPACTA' (DWARF MYRTLE)	LOW	26
MEDIUM SHRUBS (5 GALLON):		
CALLISTEMON 'LITTLE JOHN' (DWARF BOTTLEBRUSH)	LOW	26
ACCENT GRASSES (ONE GALLON):		
HESPERALOE PARVIFLORA (RED YUCCA)	LOW	28
PHORMIUM 'JACK SPRATT' (DWARF FLAX)	LOW	36
FESTUCA 'SERPENTINE BLUE' (CALIFORNIA FESCUE)	LOW	100
CAREX TUMULICOLA (BERKELEY SEDGE)	LOW	23
STORM BASIN GRASSES:		
MUHLENBERGIA RIGENS (DEER GRASS)	LOW	68
VINES:		
FICUS REPENS (CREEPING EVERGREEN FIG)	MED	4
GELSEMIUM SEMPERVIRENS (CAROLINA JESSAMINE)	LOW	6
GROUND COVER (ONE GALLON @ 30" O.C. SPACING):		
COPROSMA 'KIRKI' (CREEPING COPROSMA)	LOW	1,398 SF

NOTES:

- ALL LANDSCAPE AREAS TO BE IRRIGATED BY A LOW-PRECIPITATION DRIP TYPE SYSTEM WITH A WEATHER-BASED CONTROLLER WITH RAIN SENSOR.
- ALL LANDSCAPED AREAS TO RECEIVE 3" OF BARK MULCH OR PEA GRAVEL (TAN TONES)
- PLANTING AND IRRIGATION PLANS SHALL COMPLY WITH CITY OF LIVERMORE WATER CONSERVATION ORDINANCE REQUIREMENTS. (LMC13.25)



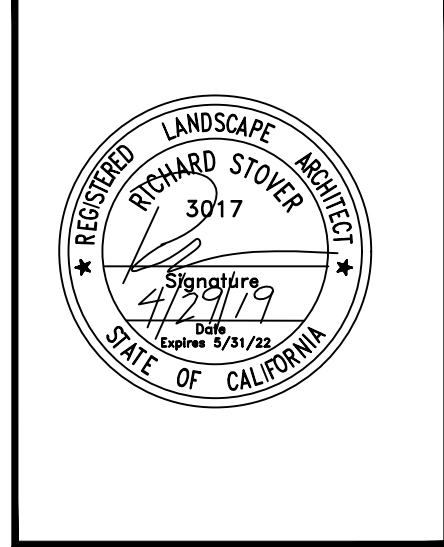
PLAN INSET: PLANT SCREENING AT NEW FIRE BACKFLOW PREVENTER
NOTE: TO BE IRRIGATED WITH EXISTING IRRIGATION SYSTEM IN THAT PLANTER.



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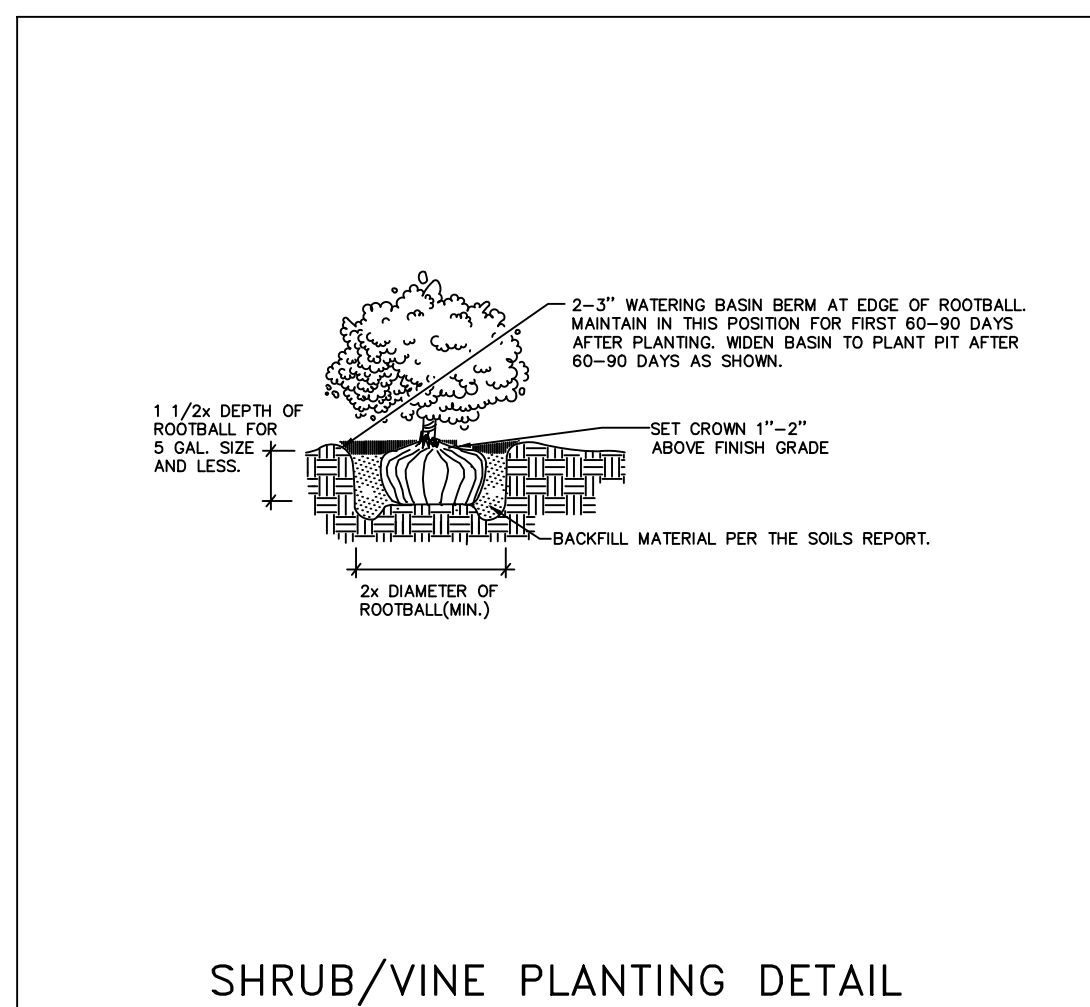
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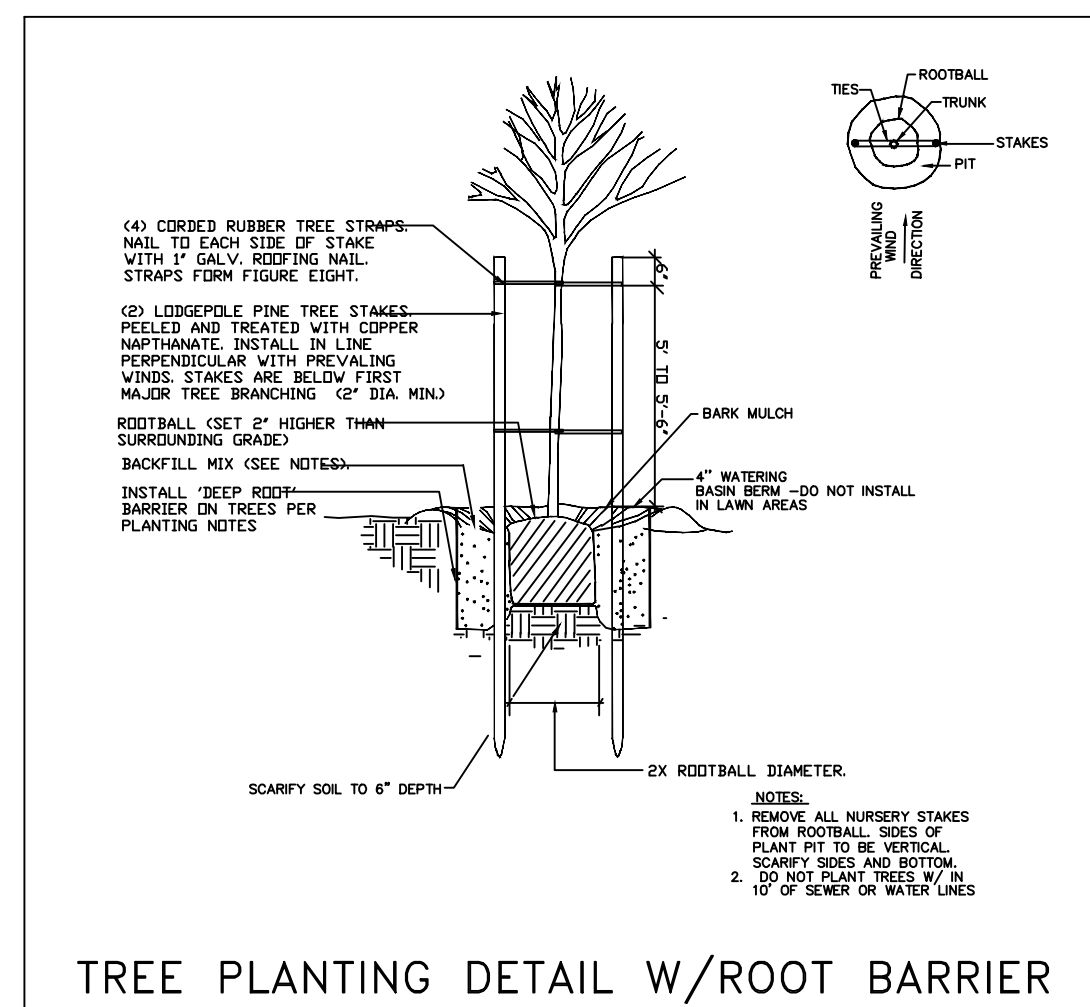
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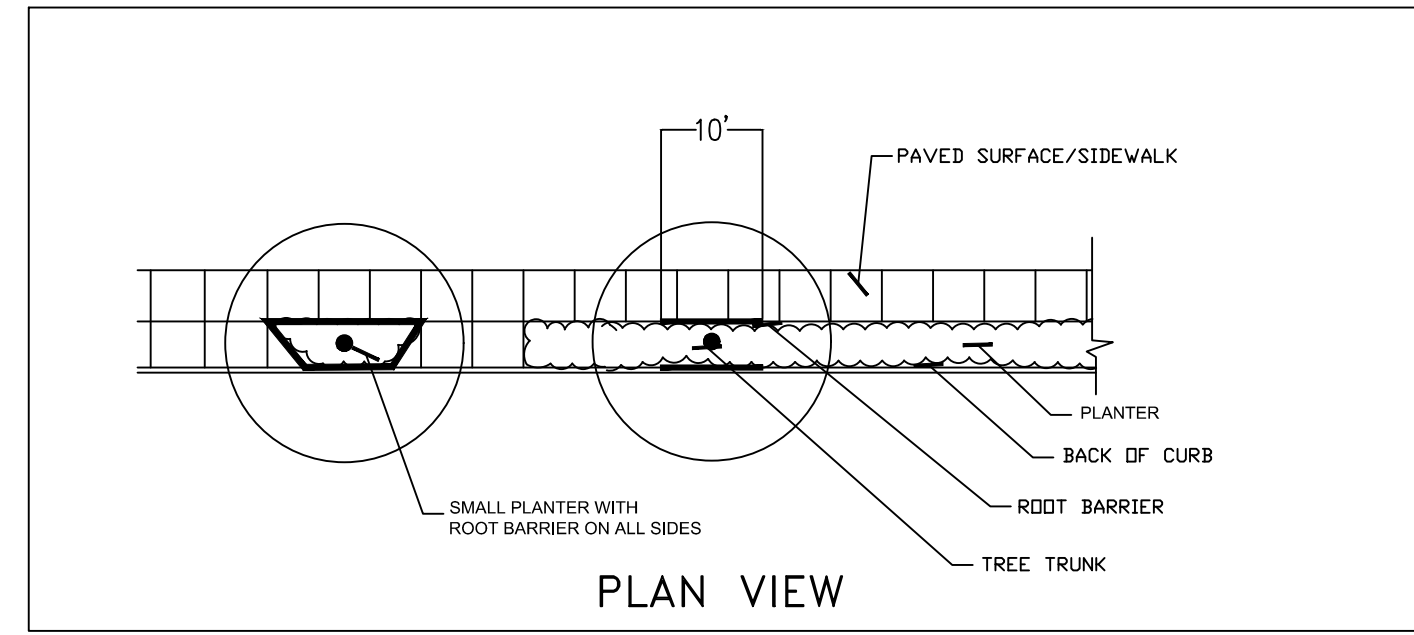
REFER TO L-4 FOR PLANTING NOTES AND DETAILS



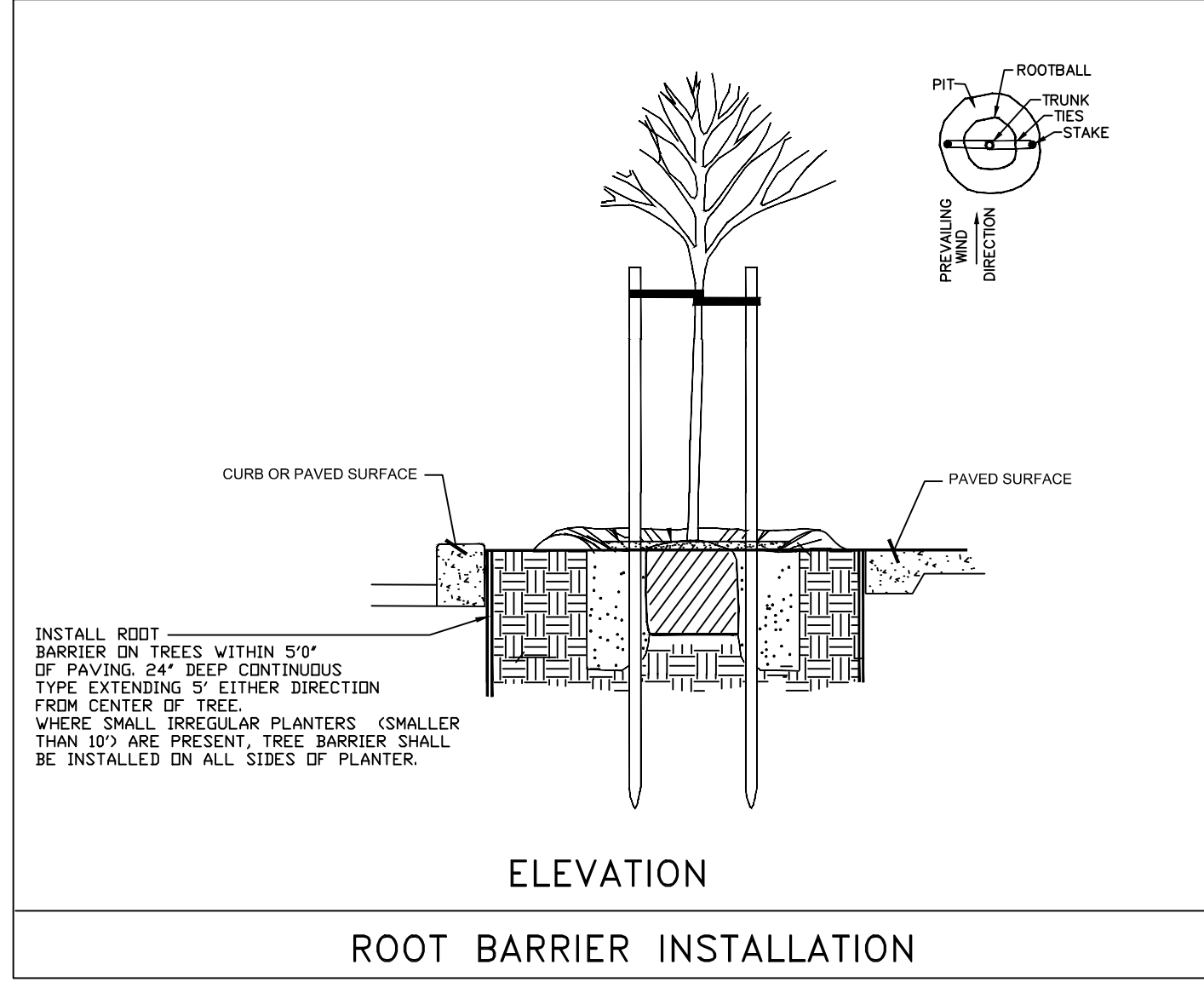
SHRUB/VINE PLANTING DETAIL



TREE PLANTING DETAIL W/ROOT BARRIER



PLAN VIEW



ROOT BARRIER INSTALLATION

PLANTING NOTES

GENERAL NOTES: The Landscape Contractor shall inspect the site and be familiar with all existing site conditions prior to submitting his bid. Contractor shall not willfully proceed with construction as shown when it is obvious that obstructions, landscape area and/or grade differences exist that may not have been known during design. Such conditions shall immediately be brought to the attention of the Landscape Architect. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification. Contractor shall be responsible for making himself familiar with all underground utilities, pipes, structures and obstructions. Contractor shall take sole responsibility for all costs incurred due to damage and/or replacement of these items. Contractor shall be responsible for coordination between trades and subcontractors as required to accomplish landscape operations. The Landscape Contractor shall be responsible for any damage to existing facilities caused by or during the performance of his work. All repairs shall be made at no cost to the Owner. Planting shall be installed in conformance with all applicable local codes and ordinances by experienced workmen and a licensed Landscape Contractor who shall obtain all necessary permits and pay all required fees.

SOIL MANAGEMENT REPORT:

- A. The Contractor shall submit soil samples to the laboratory for analysis and recommendations.
- 1. Soil sampling shall be conducted in accordance with the laboratory protocol, including protocols regarding adequate sampling depth for the intended plants.
- 2. Soil analysis may include:
 - a. Soil texture
 - b. Infiltration rate determined by laboratory test or soil infiltration rate table
 - c. pH
 - d. Total soluble salts
 - e. Sodium
 - f. Percent organic matter
 - g. Recommendations
- B. Contractor shall submit soil report and recommendations to the City as part of the certificate of completion.
- C. The soil analysis report shall be made available, in a timely manner, to the professionals preparing the landscape design plans and irrigation design plans to make any necessary adjustments to the design plans.
- D. The contractor shall submit documentation verifying implementation of the soil analysis report recommendations to the City with certificate of completion. [Ord.3-2010.3 (Exh. A), eff.3-12-2010]

SOIL PREPARATION AMENDMENTS AND BACKFILL MIX: (THE FOLLOWING SOIL AMENDMENT PREPARATIONS ARE FOR BID PURPOSES ONLY, CONTRACTOR TO CONDUCT SOILS FERTILITY ANALYSIS TEST AND SUBMIT RESULTS TO CITY PRIOR TO IMPLEMENTING TEST RESULTS RECOMMENDATIONS). The Landscape Contractor shall amend existing soil, by rototilling, 6 cu. yd. BFI 'Super Humus' compost and 15 lbs. organic balanced fertilizer 'Phyta-Boost' (7-1-2) per 1,000 sq. ft. available from California Organics or equal into the top 6 inches of soil in all planting areas. (or equal) Pit Planting Mix: for trees and shrubs mix 1/3 organic amendment, 2/3 amended topsoil as noted above.

TREE PLANTING: (THE FOLLOWING SOIL AMENDMENT PREPARATIONS ARE FOR BID PURPOSES ONLY, CONTRACTOR TO CONDUCT SOILS FERTILITY ANALYSIS TEST AND SUBMIT RESULTS TO CITY PRIOR TO IMPLEMENTING TEST RESULTS RECOMMENDATIONS). The trees are to be planted as per detail on plan. Trees shall typically be located a minimum of 4 feet from curbs, walks, headers, buildings, overheads, and other trees within the project. Backfill shall be the 'Pit Planting Mix' as noted above. All trees shall receive organic fertilizer 'Phyta boost' 7-1-2 avail. from California Fertilizer Company Inc.(or equal) for 15 gallon trees: 1 cup, for 5 gallon trees and shrubs: 1/2 cup. Thoroughly water trees immediately after planting.

ROOT BARRIERS: All trees planted within 5' of a paved surface shall receive a linear type root barrier 18" deep and 10' long along adjacent paving edges, centered on the tree trunk. (See detail)

SHRUB PLANTING: (THE FOLLOWING SOIL AMENDMENT PREPARATIONS ARE FOR BID PURPOSES ONLY, CONTRACTOR TO CONDUCT SOILS ANALYSIS TEST AND SUBMIT RESULTS TO CITY PRIOR TO IMPLEMENTING TEST RESULTS RECOMMENDATIONS). The shrubs shall be spotted as per plan and the locations approved prior to the digging of the holes. Shrub backfill shall be the 'Pit Planting Mix' as noted in 'Backfill soil mixes'. All shrubs shall receive 'Phyta-Boost' 7-1-2 organic fertilizer avail from California Fertilizer Company Inc.(or equal) at the following rates: For 5 gallon shrubs:1/2 cup for, 1 gallon shrubs:1/4 cup. Thoroughly water shrubs immediately after planting. Do not plant any plant within 20" of any building wall.

MULCHING: Mulch all planting areas, excluding lawn and storm water bioswale areas, having a slope less than 2:1 with a 3 inch minimum depth of recycled wood fiber, UV stabilized,dyed-colorfast black with a PH of no higher than 5.0, and free of noxious weeds and foreign materials. #135 Black Chip from 'Re-User Inc.' or approved equal.

MAINTENANCE: The Contractor shall maintain the project for 90 days (or as requested by owner) following the approval to begin the maintenance period. During the entire maintenance period, watering, cultivating, weeding, mowing, repair/lightening of stakes and ties, restoration of basins, provision of supplemental water by hand in addition to irrigation system as necessary. No pre-emergence herbicides shall be applied- hand remove weeds. Only organic fertilizers shall be applied such as those specified above. Install per manufacturer's recommendations. At the end of the 90 day maintenance period all areas are to be weed free and all plant material is to be in a healthy, thriving condition. Integrated pest management practices shall be implemented.

SUBSTITUTIONS: Requests for substitutions of plant varieties shall be made to the Landscape Architect within 15 days after signing of contract.

GUARANTEE: All construction, trees and shrubs by the Landscape Contractor and/or his subcontractors shall be guaranteed for (1) one year after beginning of maintenance period. The contractor shall replace, at no expense to the Owner, any and all landscape materials that are in an unacceptable condition for time of use, and trees or shrubs that are dead or not in a vigorous, healthy growing condition; within two weeks of notification of such condition. Replacement shall be of the same kind and size as the originally specified item and shall be replaced as originally described on the drawings. The Contractor shall not be held liable for loss of plant materials during the guarantee period due to vandalism, accidental causes or acts of neglect by others than the Contractor, his agents and employees.

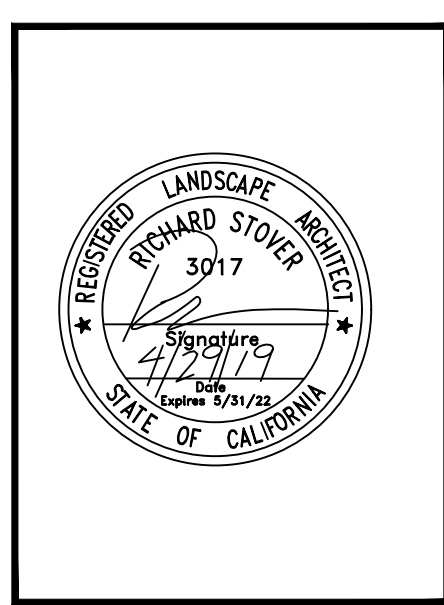
CLEAN UP: At the end of each work day, at the inspection for substantial completion and before acceptance of project, clean paved areas that are dirtied or stained by construction operations, by sweeping or washing, and remove defacements and stains. Remove construction equipment, excess materials and tools. Haul from Owners property the debris resulting from construction, and dispose of legally. Remove remaining temporary protection at time of acceptance by Owner unless otherwise agreed.

FERTILIZERS: Available California Fertilizers Company Inc. 1-800-269-5690 www.organicag.com www.californiaorganicfertilizers.com. Compost available from BFI 408-888-7632 www.bfi.com

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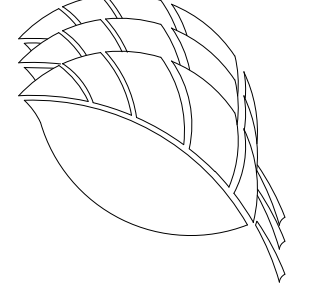


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PLANTING NOTES AND DETAILS		REMARKS
DATE	DATE	REMARKS
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